



Planning, Zoning & Building Department (941) 316-1966
501 Bay Isles Road
Longboat Key, Florida 34228
Fax Number: (941) 373-7938
Web: <http://www.longboatkey.org>

APPLICATION FOR SITE PLAN REVIEW

Date: 9-22-2014 New _____ Revised ^x _____

Name of Development: MAR VISTA RESTAURANT

	Applicant	Engineer/Surveyor	Architect
Name	Ed Chiles, Mar Vista Pub	LTA Engineers, LLC	Barron Schimberg
Address	P.O. Box 1478	2004 53rd Avenue East	40 S. Pineapple Ave, Suite 101
City, State Zip	Sarasota, FL 34236	Bradenton, FL 34203	Sarasota, FL 34236
Phone	941-778-1696	941-756-9100	941-894-6888
Fax			
Mobile		941-526-3375	

Owner: Mar Vista Pub, Inc. Agent: Lynn T. Burnett / LTA Engineers, LLC

Site Address: 760 Broadway Street North

Zoning District: C-1 Sq. Ft. of Site: 39,941 % Lot Coverage: 19.77

Total Units: - Proposed Density: -

% Non-Open Space: 65.73 Max. Density Allowed: -

Proposed Development for Existing and New Buildings						
(Circle One)	Building	Building Use	Sq. Ft.	Height	# Floors	1 st Floor Elv.
Existing/New	Building A	Office/Storage	1,793	<30'	2	4.9' NGVD
Existing/New	Building B	Restaurant	3,359	<30'	1	4.1' NGVD
Existing/New	Building C	Restaurant - 2nd story addition	1,735	30' MAX	1	14.0' NGVD
Existing/New	Building D					
Existing/New	Building E					

Parking Spaces Required: 34 Parking Spaces Indicated: 34

Please check all that apply:

- Attached hereto are the necessary approvals of the federal, state, county and regional agencies.
- Public Hearing Required. If hearing required, comment: Planning and Zoning Board Approval Only
- Proposed site plan complies with the Comprehensive Plan and Zoning Code.
- Proposed site plan complies with the Subdivision Ordinance and Town Code.

Amount of Performance Bond Required: _____

Amount of Maintenance Bond Required: _____

Date of Pre-application Meeting: 8-2014

APPLICATION FOR SITE PLAN REVIEW

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I hereby certify that I have read and examined this application and know the same to be true and correct. All provisions of laws and ordinances governing the subject type of development will be complied with whether specified herein or not, the granting of a permit does not presume to give authority to violate or cancel the provisions of any other federal, state or local law regulating construction or the performance of construction.

Applicant's Signature:  _____
(if applicant is not the property owner, a property owner affidavit will be required)

Date: 11-17-14

At the conclusion of your plan review by the Town, you will be billed for additional staff time, Town Attorney cost, cost of advertising, and any other miscellaneous costs incurred with the processing of your application(s).

FOR STAFF USE ONLY	
Application Fee: \$ <u>3000.00</u> deposit*	Receipt # _____
(Application fee will be deducted from deposit)	
Application and Plans Accepted By: _____	Date: _____
File Code/Number: _____	

**Deposit required at time of formal submission*

At the conclusion of your plan review by the Town, you will be billed for additional staff time, Town Attorney cost, cost of advertising, and any other miscellaneous costs incurred with the processing of your application(s). Costs will be deducted from initial deposit. If costs exceed the initial deposit, you will be billed for the remaining costs incurred; or you will be refunded the unused portion of the deposit.



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VERIFIED STATEMENT AND CERTIFICATE OF OWNERSHIP

Pursuant to Sections 158.095 and 158.097(C), Town of Longboat Key Town Code, I am submitting the following Verified Statement and Certificate of Ownership. This Verified Statement and Certificate of Ownership reflects each and every individual person having a legal ownership, interest in the subject property except publicly held corporations whose stock is traded on a nationally recognized stock exchange, in which case the name and address of the corporation and principal executive officers will be sufficient.

I hereby verify and certify that as of November 17th, 2014, the following are all
(date)
 persons and/or entities having a legal ownership interest in the real property located at
760 Broadway Street, Longboat Key, FL 34228
(legal address)

Property Owners and/or shareholders:

- 1. Ed Chiles 2. _____
 - 3. _____ 4. _____
- (Please attach additional sheets if necessary)

The undersigned does hereby state under oath that the foregoing information is true and correct.

Signature

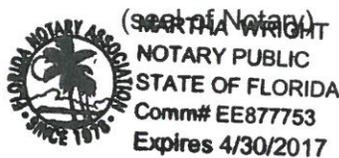
Ed Chiles
 Print Name

Owner/President
 Title

State of Florida
 County of Manatee

The foregoing instrument was acknowledged before me this Nov. 17th, 2014, by
Ed Chiles, Owner (name and title), who is personally known to
 me or who has produced _____ as identification.

Signature of Notary
Martha Wright
 Print Name of Notary



November 17th, 2014

Ms. Alaina Ray, AICP
Town of Longboat Key
Planning, Zoning & Building Department
501 Bay Isles Road
Longboat Key, FL 34228

**RE: Mar Vista Restaurant Renovation
Site Plan Amendment Application
LTA Project No.: 417.03.01.10**

Dear Alaina:

On behalf of our client, we are submitting the enclosed Site Plan Amendment Application for the Mar Vista Restaurant. Included with this resubmittal are the updated Application and Certificate of Ownership as requested in your letter dated October 24th, 2014.

Per the Town Code, the items of Section 158.095-099 are hereby acknowledged. Section 158.097, Application for Site Plan Approval is specifically being met in the following manner:

Section 158.097, Application for Site Plan Approval

Any application for site plan approval shall be submitted on a form provided by the town together with full payment of an application fee as set forth by resolution of the town commission and in addition shall include at least the following information, unless the planning and zoning official determines that one or more of the following elements do not apply to the particular development:

- (A) The character of use and the location and size of the site, including a current land survey with a complete legal description prepared and certified by a registered surveyor.
This information is provided on the Site Plan. An updated, signed and sealed survey is also provided as part of the application package. The existing conditions plan has been updated consistent with the most recent survey to reflect current conditions as of 8-29-2012.
- (B) Site plan with the title of the project, its lot configuration, finished ground floor elevations, contours (i.e., at six-inch intervals with reference to mean sea level), and designating number of dwelling units, square footage paved areas and open area, and dimensioned setbacks to scale indicating compliance with regulations.
This information is provided on the site plan. Also on Sheet 2 are the dimensions of the proposed additions to the building including the recently constructed cooler. A full set of revised architectural plans are also provided with elevations from each view. Sheet A-3.0 depicts the height of the roof from the proposed dining area floor consistent with the maximum allowable height of 19'. Labels have been added to each restaurant

elevation to identify the direction façade is facing; ie – Broadway Street, Lois Avenue, Bayside, Moore’s. The typical waterfront setback for this property is 50’; however the Code provides an exception for waterfront dining to be located within the waterfront yard (20’ minimum required). The existing conditions plan depicts the existing setback as 45.4’ as measured from the MHWL. Sheet 4 contains detailed information on what currently exists within the ground floor of the existing structure as well as the existing versus proposed site improvements. There are no proposed modifications to the existing 2 story office/storage building.

- (C) Verified statement, including a certificate of ownership, showing each and every individual person having a legal ownership, interest in the subject property except publicly held corporations whose stock is traded on a nationally recognized stock exchange, in which case the name and address of the corporation and principal executive officers will be sufficient.

An updated certificate of ownership is included in the submittal package.

- (D) The relationship of the site to existing development in the area including streets, utilities, residential and commercial development, and important physical features in and adjoining the project, including ecological features.

Existing information surrounding the site is provided on the Site Plan and Survey (refer to Sheet 4 of the Plan Set for details). There are existing residences to the West and North of the project. There is an existing restaurant and parking lot to the east. The southern property line is bounded by Sarasota Bay. There is an existing dock with 14 boat slips which service the restaurant patrons. The vegetative buffers on the west, north and east sides are fully mature and adequately screen the view from those sides. The 2nd story addition of the restaurant will have minimal impact on the adjoining properties and will have no detrimental ecological impact. No music or amplified voices shall be allowed in the outdoor dining area. In accordance with the hours of operation, the upstairs dining area shall be vacated by 10:00 pm. Lighting and Photometric Plans are included in this submittal as Sheets EL-1 and EL-2 of the Site Plan covering all aspects of the improvements included in this application. This restaurant has been an established part of this community and neighborhood and will continue to provide quality dining and entertainment as part of it’s contribution to Longboat Key. Refer to the Comprehensive Plan Analysis included as part of this Site Plan Amendment package for more detailed information regarding protection of surrounding properties.

- (E) The density or intensity of land use(s) to be allocated to all parts of the site to be developed together with tabulations by acreage and percentage thereof itemized by use and density.

Updated intensity and coverage calculations are provided on the Site Plan consistent with the Town Lot Coverage Calculation Sheet. The proposed roof overhangs have been included and accounted for in the site’s overall building coverage and non-open space calculations. The proposed design is well below the maximum allowable lot coverage and non-open space requirements as depicted on the Site Plan.

- (F) Tabulations by acreage and percentage as to the amount of the site that is uplands and wetlands, indicating those wetlands landward and seaward of the mean high-water line (MHWL). Additional related information should include the extent and type of wetlands in accordance with the town's comprehensive plan.
There are no wetlands onsite. The MHWL is identified on the Site Plan.
- (G) Architectural definitions for buildings in the development; include use, height, daylight plane, exterior construction material, exact number of dwelling units, sizes and types of building and dwelling units, together with typical floor plans of each type. The floor plans should indicate uses and square footage of each proposed use within each building or structure and all exterior dimensions of each type of building or structure.
A detailed seating plan is depicted on the Site Plan Sheet 2. There are no additional seats proposed as part of this plan. The restaurant is currently approved for 169 seats. The seating plans have been included on Sheets 2 and 3. Each area and its respective use are delineated on the Sheet 2 of the Site Plan. The uses are as follows: Service Area - Provides staff access to new enclosed stairs and proposed outdoor dining area above the restaurant; Patron Area - Provides customer access to existing restaurant/bar, retail area and new restrooms; Retail Area -Provides customers opportunity to view retail merchandise for personal purchase. Elevations of the building (existing and proposed) are provided in the Architectural plans.
- (H) The type and location of all existing trees protected by town regulations, including a plan how the removal of such vegetation would be avoided and/or replanted or replaced.
The existing trees are shown on the Survey and Site Plan. No existing protected vegetation will be removed. Additional screening and landscaping will be provided to enhance the site buffers. See attached Landscape Buffer Exhibit prepared by Michael Miller for specific details on plant material sizes, types and proposed locations.
- (I) Location, design and character of all utilities.
Existing utility information is shown on the Site Plan. In addition, the following utilities will be modified or upgraded as applicable: new elevator/elevator equipment room will require new electric service (See attached Architectural Plan); second floor dining area will require new electric for casual dining service (See attached Architectural Plan). In addition, a sink(s) will be provided within the upstairs service area. Since this is a renovation of an existing restaurant, with only a few additional seats, there are no additional proposed utilities. Only interior plumbing will be modified to accommodate the renovations. Existing meter and backflow sizes will be verified prior to building permit application based on the additional fixture units proposed. No food or drink preparation is proposed in the upstairs dining area; only simple garnishes, composing of food on the plates or pouring of drinks will take place in the upstairs outdoor dining area as previously stipulated.

- (J) Location, height and general character of perimeter and ornamental walls, fences, landscaping, including berms and other required screening devices and any other plans for protecting adjacent property owners.
A detailed Landscaping & Screening Plan is included in the Site Plan Amendment on Sheet 3. Refer to the enlarged area for the proposed opacity. Existing vegetative buffers are fully mature and provide excellent screening & buffer of the site in its current condition. Additional landscaping is proposed at ground level and on the 2nd story to further enhance the screening and buffers. The proposed elevations within the Architectural Plans depict the 4' high lattice screening on the second floor of the outdoor dining. In addition, please see attached Landscape Buffer Exhibit prepared by Michael Miller.
- (K) Location of all pedestrian walks, malls and bike paths.
There are no proposed walks or bike paths. The existing walks will be modified slightly to enhance ingress/egress to the restaurant.
- (L) Location and character of recreation areas and facilities and the disposition of all open space indicated on drawings. This information should include calculations, verified by a licensed design professional, indicating how the town's open space requirements are being met. If common facilities (such as recreation areas or structures, private streets, common open space, etc.) are to be provided for the development, statements as to how such common facilities are to be provided and permanently maintained. Such statements may take the form of proposed deed restrictions, deeds of trust, homeowners associations, surety arrangements, or other legal instruments providing adequate guarantees to the town that such common facilities will not become a future liability of the town.
Updated intensity and coverage calculations are provided on the Site Plan consistent with the Town Lot Coverage Calculation Sheet. There are no proposed recreation areas or facilities. See revised calculations shown on Sheet 2.
- (M) Location and character of all outside facilities for waste disposal, storage areas or display.
This information is shown and identified on the Site Plan.
- (N) A traffic impact analysis shall be provided, except for involuntary reconstruction and voluntary reconstruction without additional units, to ensure that the adopted levels of service standards are not exceeded before capacity-related improvements are implemented. The locations and dimensions of all curb cuts, driveways, including the number of parking spaces with their location and dimension, details of off-street parking, including interior parking areas and loading areas, all off-street vehicular surfaces available for maneuvering, surface materials, number of employees and number and type of vehicles owned by the establishment shall be provided.
See attached updated Transportation Concurrency Analysis. All curb cuts and driveways are existing. There are 50 total employees at the restaurant with approximately 10-15 employees on staff at any given time. There are no vehicles owned by the establishment. Refer to Site Plan Amendment sheet 2 for proposed traffic circulation patterns and pedestrian paths for ingress and egress to the restaurant. An updated parking calculation is

provided on the Site Plan Amendment based on net patron area (158.178) for the ground floor areas and based on restaurant seating (158.128) for the 52 relocated seats proposed in the upstairs dining area. This restaurant previously obtained approval (PNZ Board Meeting 01-08-2008) for the Commercial Revitalization Waiver to utilize 6 of the existing boat slips to meet the parking needs of the restaurant. Refer to Sheet 2 of the Site Plan Amendment for all applicable parking dimensions and wheel stop locations. All non-conforming spaces have been or will be relocated and/or modified to be conforming. The treetop dining area (599s.f.) has been included in the occupancy and parking calculations. One of the existing doorways opening onto the patio will be eliminated to make additional room for the retail area. The seating areas shown on Sheet 2 and 3 have been revised accordingly.

- (O) Flood protection elevation data and flood zones delineated. A surface water management plan based on best management practices and in accordance with the sanitary sewer, potable water, solid waste, and drainage element of the town's comprehensive plan.
The flood zone and elevation are identified on the site plan. There are no new site improvements requiring a surface water management plan.
- (P) A soil erosion and sedimentation plan in accordance with of the town's comprehensive plan and best management practices.
A Soil Erosion & Sedimentation Plan is included as sheet 4 of the Site Plan Amendment in accordance with best management practices and the Town's comprehensive plan. There are proposed drainage flow arrows depicted on Sheet 4. Construction Notes have also been added regarding the regrading of the existing shell areas to direct them away from public rights of way and into the existing retention areas. In addition, concrete aprons are proposed at each driveway approach and 6" depth of #57 stone is proposed from the existing rights of way internal to the parking and drive areas. Refer to legend and hatching on Sheet 4 for specific locations.
- (Q) All applications for permits and supporting documentation, correspondence and any other material submitted to any outside permitting agencies or received from such agencies.
Applicable Health Department approvals will be obtained upon Site Plan Amendment Approval and will be provided to the Building Department upon receipt. With the exception of NPDES permitting which will be obtained and maintained prior to and during construction; no other agency permits are required or have been requested as part of this Site Plan Amendment. We acknowledge the comments received from the Building Department pertaining to the Main Building (Restaurant) and agree to comply with FEMA 50% rule, Chapter 10 of the Existing Building Code, FPC Table 403.1, FBC 1028.8 and FBC 1014.2. Compliance with all other applicable codes and requirements shall be demonstrated during Building Permit review stage as well.
- (R) Such additional data, maps, plans or statements as may be required for the particular use or activity involved.

Refer to entire Site Plan Amendment package for all required/requested information.

- (S) Such additional data, as the applicant may believe is pertinent to the site development plan.

Refer to entire Site Plan Amendment package for all pertinent site information.

- (T) Such additional material and information the town may reasonably require.

Refer to entire Site Plan Amendment package for all required/requested information.

- (U) A list of all departures from the supplement controls set forth in subsection 158.102(L) and a clear description of the nature and extent of the departure and a statement specifically indicating the factual basis for any hardship claimed by the applicant and/or a statement of the facts constituting the basis for a request for a waiver of the supplemental controls as set forth in subsection 158.102(L).

No departures or hardships are being requested.

- (V) If the project is in a planned unit development, utilizing the involuntary reconstruction provisions of section 158.139, or utilizing the voluntary reconstruction provisions of section 158.140, a statement specifically listing any departures, relaxations, modifications and adjustments from provisions of the Code of Ordinances which would otherwise be applicable to the project if the outline development plan process were not applicable. If the project is in the GPD, PD or NPD district, departures should be based upon the requirements of a zoning district most similar to the use approved for the parcel being considered as determined by the town.

N/A

- (W) (1) In addition to the applicable provisions for site plan approval enumerated above, the following will be required for consideration of site plan approval or site plan exemption for personal wireless service facilities classified as rooftop antennas or antennas placed on the exterior of buildings or structures which meet the requirements of section 158.1361 of this chapter.

(a) – (m)

N/A

(2) The following will be required for conditions of site plan approval and a special exception permit for personal wireless service facilities not governed by subsection (W)(1) above, including, but not limited to towers:

(a) – (ff)

N/A

Section 158.102, Performance standards for site and development plans:

- (A) Site Location and Character of Use:

Detailed Site Information is provided in the Site Plan Amendment Plan Set. Refer to Sheet 2 for off-street parking information and calculations. A Landscape & Screening Plan Sheet 3 provides detailed information on the existing and proposed landscape buffers, required screening for the 2nd

floor outdoor dining area, required and provided open space and yards. A signed and sealed survey is also provided which includes an updated tree survey detailing the type and size of existing trees onsite. Dimensions have been added to the Site Plan (Sheet 2) for all yard and building setbacks. Refer to Comprehensive Plan Analysis included as part of this submittal for more detailed information on the suitability of the location and design of the proposed use.

(B) Appearance of Site and Structures:

Detailed Site and Structure Information is provided in the Site Plan Amendment Plan Set and Architectural Plan Set. In addition, a Lighting Plan is provided for the existing and proposed lighting fixtures as part of the restaurant renovation. Refer to Sheets EL-1 and EL-2. Elevations of the restaurant are provided in the Architectural Plan Sets. Refer to Sheet 2 and the Architectural Plans for applicable horizontal and vertical dimensions of the buildings. The existing vegetation within the buffer yard areas will be enhanced and will exceed opacity requirements. Additional plants will be installed on the second floor of the restaurant and the railings will be installed with lattice. Vines will be planted within the lattice to achieve the opacity requirements.

(C) Maximum Floor Area Ratio:

Refer to calculations on Sheet 2 of the Site Plan Amendment Set.

(D) Parking, Internal Circulation, and Access to Public or Private Streets:

Existing Site currently has one curb cut access to Lois Street and two curb cut access points to Broadway Avenue. Both are public streets. Refer to Site Plan Amendment sheet 2 for proposed traffic circulation patterns and pedestrian paths for ingress and egress to the restaurant. An updated parking calculation is provided on the Site Plan Amendment; in addition, maximum occupancy load calculations are provided on the Site Plan Amendment. This site currently has an approved Commercial Revitalization Waiver for the parking. In conjunction with the renovation, a bike rack has been installed in addition to the existing boat slips to meet the parking needs of the restaurant. Refer to Sheet 2 of the Site Plan Amendment for all applicable parking dimensions and wheel stop locations. As part of this amendment, all non-conforming spaces are being removed, relocated and/or modified to be conforming.

(E) Traffic Impacts:

Refer to enclosed Traffic Impact Analysis. Refer to Site Plan Amendment sheet 2 for proposed traffic circulation patterns and pedestrian paths for ingress and egress to the restaurant. The bicycle ingress/and egress and pedestrian access will be as shown on the Site Plan.

(F) Open Space and Landscape:

A Landscape & Screening Plan is provided as Sheet 3 of the Site Plan Amendment Set. Required and Provided open space calculations are provided on Sheet 2 of the Site Plan Amendment Set.

(G) Wetland Development Restrictions:

Not Applicable.

(H) Surface Water Management:

Sheet 4 of the Plan Set depicts the existing versus proposed improvements. The stormwater retention areas are existing. Per previous Staff and Consultant comments, the top of bank along Sarasota Bay will be elevated by an additional 0.25' to protect the shoreline from tidal waters

and increase storage volume onsite for water quality purposes. In addition, the revised Plan Sheet 4 depicts the proposed locations of concrete approach pads within the rights of way along with the replacement of the existing shell with 6" depth of #57 Stone within the entrance drive and initial parking spaces. Refer to Plan Sheet 4 for locations as shown. Flow arrows and Construction Notes are also provided on this plan sheet to ensure that all shell areas are directed away from the rights of way and into the existing retention areas.

- (I) Available Potable Water:
Existing Water and Irrigation Meters are in place. Meter Calculations will be provided to Public Works Department in conjunction with Building Permit Application to verify that existing meter and backflow sizes are adequate.
- (J) Wastewater Service:
The bathrooms have been relocated and upgraded as part of the prior Site Plan Exemption Approval (2010). No additional bathrooms are proposed as part of this application.
- (K) Soil Erosion & Sedimentation Control:
A Drainage and Soil Erosion Plan is included as Sheet 4 of the Site Plan Amendment Set in accordance with the Town's Plan and for approval by Public Works Department. The shell parking lot areas will be regraded and will redirect stormwater runoff into the existing retention areas and away from the adjacent public rights of way. Since this project results in a net increase of less than 9,000 s.f. of impervious surface, it is exempt from SWFWMD permitting. This project is designed to exceed State water quality requirements. NPDES permits will be obtained and maintained during construction.

Section 158.103. Grant or denial of applications for site plan approval:

- (A) Consistency with Comprehensive Plan and the purpose and intent of the zoning district.
The current zoning for the property is C-1. Outdoor Dining is a permitted and allowed special exception use within the C-1 zoning district. Refer to Comprehensive Plan Analysis included as part of this submittal for more detailed information on the suitability of the location and design of the proposed use in accordance with the intent of the zoning district.
- (B) In what respects the plan is or is not in conformance with all applicable regulations of the zoning district in which it is located.
Detailed Site and Structure Information is provided in the Site Plan Amendment Plan Set and Architectural Plan Set demonstrating compliance with all applicable regulations of the zoning district.
- (C) In what respects the plan is or is not in conformance with the Town's subdivision regulations, chapter 157, and all other applicable Town requirements including the design, adequacy and construction of streets, drainage, utilities facilities and other essential services.
Refer to Site Plan Amendment Set for all aspects of the plan demonstrating compliance.
- (D) In what respects the plan is or is not consistent with good design standards in respect to all external relationships, including, but not limited to, relationship to adjoining properties; internal circulation, both vehicular and pedestrian; disposition and use of open space, provision of screening and buffering, and

preservation of existing natural features, including trees; size and apparent bulk of structures; and building arrangements both between buildings in the proposed development and those adjoining the site.

Existing Site currently has one curb cut access to Lois Street and two curb cut access points to Broadway Avenue. Both are public streets. There are existing residences to the West and North of the project. There is an existing restaurant and parking lot to the east. The southern property line is bounded by Sarasota Bay. There is an existing dock with 12 boat slips which service the restaurant patrons. Two additional slips will be added as approved by FDEP. The vegetative buffers on the west, north and east sides are fully mature and adequately screen the view from those sides. Additional vegetation will be added in accordance with the Proposed Landscape Buffer exhibit prepared by Michael Miller. The 2nd story addition of the restaurant will have minimal impact on the adjoining properties and will have no detrimental ecological impact. No music or amplified voices shall be allowed in the outdoor dining area. In accordance with the hours of operation, the upstairs outdoor dining area shall be vacated by 10:00 pm. Lighting and Photometric Plans are included in this submittal as Sheets EL-1 and EL-2 of the Site Plan covering all aspects of the improvements included in this application. This restaurant has been an established part of this community and neighborhood and will continue to provide quality dining and entertainment as part of it's contribution to Longboat Key. Refer to the Comprehensive Plan Analysis included as part of this Site Plan Amendment package for more detailed information regarding protection of surrounding properties.

- (E) In what respects the plan is or is not in conformance with the Town policy in respect to sufficiency of ownership, guarantees for completion of all required improvements, and, if private, the guarantees for continued maintenance.

Mar Vista Pub, Inc. has been the owner of this property and will continue to maintain ownership and maintenance responsibilities. As the Engineer of Record for the site related components of this project, I hereby certify that all requirement improvements will be completed in accordance all applicable requirements and permits. Mar Vista Pub, Inc. guarantees that maintenance of the property will continue to be performed to the Town's full satisfaction.

Section 158.126 and Section 158.136– Special Exception Uses:

A modification to the Special Exception is provided as a separate application filed concurrently with this Site Plan Amendment. Refer to separate narrative and application for Special Exception for detailed information pertaining to this Section.

Section 158.128 – Off-street parking:

Occupancy Load Calculations are provided on the Site Plan (Sheet 2). The parking calculations have been revised and updated consistent with 158.128 for the existing seats proposed to be relocated to the 2nd Story Dining Deck Area. All non-conforming spaces have been or will be relocated and/or modified to be conforming.

- (I)(5) All trees, landscape islands, and other landscape areas shall be protected from vehicular encroachment:
Wheel Stops and landscape timbers are delineated on Sheet 2 of the Site Plan Amendment Plan Set and are located in such a manner as to protect the landscape areas from vehicular encroachment.
- (J) Parking Access and Circulation:
Refer to Site Plan Amendment sheet 2 for proposed traffic circulation patterns and pedestrian paths for ingress and egress to the restaurant. The handicap spaces have been relocated to the east side parking lot as recommended by Staff. Refer to Revised Sheet 2 for locations of handicap spaces and access.
- (L) Delineation of Parking Spaces:
Wheel stops are shown on the Site Plan Sheet 2. Handicap Spaces shall be striped in accordance with FDOT and ADA standards. All spaces and drive aisles are dimensioned on the Site Plan Sheet 2.

Section 158.150 – Yard Regulations:

- (C) Transition Yard Requirements:
Existing and Proposed Buffers are shown on the Landscape & Screening Plan Sheet 4. The Site Plan has been amended to provide a 6' high opaque fence as part of the landscape buffer to the east property. The existing chain link fence will be removed as shown on Sheet 4. Additional vegetation will be added in accordance with the Proposed Landscape Buffer exhibit prepared by Michael Miller.

Section 158.154 – Screening Regulations:

(A) Subject to the requirements of section 158.152, where any nonresidential use directly abuts a single-family residential zone or where a nonresidential use within a multifamily residential zone abuts a residential use in the same or a different residential zone, it shall be screened from the adjoining residential zone in one of the following ways:

(1) By a fence or wall at least five feet but not more than six feet in height of at least 60 percent solidity measured perpendicularly. The fence or wall shall be located completely within the limits of the nonresidential lot and shall have equal architectural treatment on both sides.

Existing and Proposed Buffers are shown on the Landscape & Screening Plan Sheet 3. The existing landscape buffer to the east shall be enhanced as follows: The existing chain link fence will be replaced with a 6' high opaque fence as shown on Sheet 3. The existing plants and trees located within the buffer exceed the 60% solidity requirements as measured perpendicularly. Additional vegetation will be added in accordance with the Proposed Landscape Buffer exhibit prepared by Michael Miller.

(2) By landscaping which is selected and arranged to form a visual screen between the nonresidential use and the residential district or use from which it is to be screened. The landscaping shall be by berm or mature plants having already attained a six-foot height and providing the necessary screening; however a permanent fence to supplement the landscaping may be required.

The existing landscaping between the two restaurants is mature and currently provides in excess of 60% solidity. With the addition of the wooden fence, the buffer will achieve 100% solidity to 6' height. Additional plantings and trees will maintain 80% solidity in excess of 12' height.

Section 158.178 – Commercial Revitalization - Waivers:

An updated parking calculation is provided on the Site Plan Amendment based on net patron area (158.178) for the ground floor areas and based on restaurant seating (158.128) for the 52 relocated seats proposed in the upstairs dining area. This restaurant previously obtained approval (PNZ Order # 2006-04 and PNZ Board Meeting 01-08-2008) for the Commercial Revitalization Waiver to utilize 6 of the existing boat slips to meet the parking needs of the restaurant.

We trust that this detailed analysis meets and exceeds the requirements for the Site Plan Amendment checklist and review criteria. Please feel free to contact us if you have any questions or require any additional information.

Sincerely,

LTA Engineers, LLC

A handwritten signature in blue ink, appearing to read "Lynn Burnett", with a horizontal line extending to the right.

Lynn Burnett, P.E.

cc: Mark Anderson, Chiles Group
Ricinda Perry, Esq.



November 17, 2014

Ms. Alaina Ray, AICP
Town of Longboat Key
Planning, Zoning & Building Department
501 Bay Isles Road
Longboat Key, FL 34228

**RE: Comprehensive Plan Analysis
Amendment to Site Plan for Mar Vista Restaurant Renovation
LTA Project No.: 417.03.01.10**

Dear Ms. Ray:

On behalf of our client, we are submitting the following comprehensive plan analysis as part of the Special Exception Application.

FUTURE LAND USE ELEMENT GOAL – To preserve and enhance the character of the Town of Longboat Key by the following: 1) ensuring that the location, density, intensity and character of land uses are responsive to the social and economic needs of the community and are consistent with the support capabilities of the natural and manmade systems; and, 2) maintaining an environment that is conducive to the health, safety, welfare, and property values of the community.

The application request is consistent with Goal 1 of the Comprehensive Plan as it provides for an update to the restaurant to increase its economic viability within the community. The restaurant has been in existence since 1950 and is a staple to the community it serves. All proposed improvements associated with this request are consistent and compliant with the Town's Codes and Regulations. All state statutes are being adhered to in regards to Water Quality Requirements. All associated state health department permits are in compliance. There is a historic structure on the property that has been maintained and preserved. As such, the restaurant maintains an environment that preserves the health, safety, welfare and property values of the community in which it is located and is consistent with all Objectives and Policies established as part of the Future Land Use Element Goal.

TRANSPORTATION ELEMENT GOAL 1 – To provide a safe, convenient, efficient, and operationally acceptable multi-modal transportation system for residents and visitors in the Town of Longboat Key. (Ordinance 2012-06; Adopted: June 21, 2012)

The application request is consistent with Goals, Objectives and Policies of the Transportation Element of the Comprehensive Plan as it provides for safe ingress and egress to the restaurant via existing public rights of way. It provides for multi-modal means of access by providing pedestrian paths (sidewalks), bike parking, boat slips and canoe/kayak access and parking. Specifically, Policies 1.4.3, 1.4.4, 1.4.5., and 1.4.6 are provided for by this project and its associated

design elements. In addition, as part of this application and development, the existing shell driveways will be regraded and stormwater will be redirected away from public rights of way which will improve the overall maintenance of the Town's adjacent roadways (Broadway Street and Lois Avenue). In accordance with Policy 1.8.3.; several Australian Pines have been or are proposed to be removed as part of this application. Transportation Concurrency Report with supporting calculations is provided to demonstrate consistency with Policy 1.1.6 and 1.1.8. Policy 1.1.9 is achieved by the use of several means of ingress/egress from the Site; safe and efficient internal circulation; and pedestrian oriented amenities (bike racks and boat slips).

CONSERVATION AND COASTAL MANAGEMENT ELEMENT GOAL 1 – The Town will maintain the quality of its environmental features.

Although there are no wetlands located onsite, as part of this application, existing stormwater retention systems will be enhanced in accordance with Objective 1.2. Specifically, the project is achieving a stormwater retrofit consistent with Policies 1.2.1, 1.2.2 and 1.2.3 by redirecting existing stormwater runoff into existing retention areas for treatment prior to discharge into Sarasota Bay. Existing native plants are being preserved and/or relocated onsite as necessary to maintain viable natural habitat for birds and wildlife. In regards to Objective 1.5, the restaurant will continue to maintain hours and noise levels consistent with the Town's Noise Ordinance. Consistent with Objective 3.2, the restaurant meets and exceeds all required building setbacks and makes provision for safe storing of all outdoor dining furniture during storm events. In summary, this project is consistent and complies with all applicable goals, objectives and policies of the Conservation and Coastal Management Elements of the Town's Comprehensive Plan.

INFRASTRUCTURE SUB-ELEMENT GOALS FOR WATER AND WASTEWATER

The project meets all applicable Objectives and Policies for water and wastewater as current services are already provided to the restaurant.

INFRASTRUCTURE SUB-ELEMENT GOALS FOR STORMWATER

As part of the application process, a stormwater plan was provided in accordance with Objective 3.2 of the Stormwater Element of the Comprehensive Plan. In addition, the existing Top of Bank of the stormwater retention pond is proposed to be raised an additional 3" which will significantly improve the water quality discharged from the site as well as provide additional treatment storage in excess of state requirements. No direct discharge to Sarasota Bay is proposed as part of this application.

INFRASTRUCTURE SUB-ELEMENT GOALS FOR SOLID WASTE

A copy of the grease trap maintenance agreement has been provided to the Town to demonstrate compliance with Objective 1.3. In addition, the dumpster has been relocated to a concrete pad with fencing and buffers in accordance with the

Town's Codes and Regulations. The stormwater treatment areas provide collection and treatment of any stormwater runoff from the dumpster area. A drain has been installed within the dumpster to collect any grease or debris and is directed into the recently upgraded grease traps located on site.

OTHER ELEMENTS OF COMPREHENSIVE PLAN NOT IDENTIFIED HEREIN ARE NOT APPLICABLE TO THIS TYPE OF PROJECT OR APPLICATION. THESE INCLUDE INTERGOVERNMENTAL COORDINATION, CAPITAL IMPROVEMENTS, MANATEE COUNTY PUBLIC SCHOOL FACILITIES, SARASOTA COUNTY PUBLIC SCHOOL FACILITIES.

In summary, we hereby certify that this project is consistent with all elements of the Comprehensive Plan and is in compliance with all applicable Town Codes and Regulations.

Sincerely,

LTA Engineers, LLC



Lynn Townsend Burnett, P.E.
Principal

cc: Mark Anderson, Chiles Group
Ricinda Perry, Esq.

BLUE SEPTIC TANK SERVICE, INC.

dba BLUE ENVIRONMENTAL
P. O. Box 20307
Bradenton, Florida 34204

Phone 941-758-0674
Fax 941-758-8015
E-Mail: blueenviro@tampabay.rr.com

GREASE TRAP MAINTENANCE AGREEMENT

CUSTOMER: Mar Vista Pub, Inc.
ADDRESS: 760 Broadway St. CITY: Longboat Key
COUNTY: Sarasota ZIP: 34228 PHONE: 383-2391

GREASE TRAP SIZE (2) 1250 GALLONS (each)
BLUE SEPTIC TANK SERVICE, INC., AGREES TO SERVICE YOUR GREASE TRAP(S)
EVERY Sixteen (16) WEEKS AS SCHEDULED PER OUR MAINTENANCE PROGRAM
BEGINNING 10-30-14 THROUGH 10-29-15 ANNUAL RENEWAL TO BE AUTOMATIC
UNTIL OR UNLESS WRITTEN NOTIFICATION IS MADE BY EITHER PARTY.
THE RATE FOR SCHEDULED PREVENTATIVE MAINTENANCE SHALL BE \$180.00
PER SERVICE PER GREASE TRAP. IN CASE OF AN EMERGENCY DURING REGULAR
BUSINESS HOURS (WHICH INCLUDES OFF SCHEDULE CLEANINGS), WHEN ALL
CONTENTS OF TRAP MUST BE DISPOSED OF, THE CHARGE WILL BE \$180.00 PLUS
UNLOADING FEES (based on \$180 per 1000 gallons) EMERGENCY SERVICE AFTER
HOURS, WEEKENDS, HOLIDAYS AT THE RATE OF \$250.00 PER HOUR PLUS
UNLOADING.

PRICING WILL BE HONORED ONLY UPON RECEIPT OF SIGNED CONTRACT.
OTHER SERVICES THAT MAY BE REQUIRED ON A CALL AS NEEDED BASIS;
CLEANING OF LIFT STATION \$260.00 PER SERVICE PLUS UNLOADING FEES,
(\$.10 per gallon in Manatee, all others \$.19 per gallon).
JETTING OF LINES, \$245.00 PER HOUR

Upon acceptance of this agreement, customer agrees to the following terms:

DUE UPON RECEIPT. Interest at the rate of 1 1/2 % per month will
be charged on past due balances. The company reserves the right to
place any past due accounts with collections. The customer hereby
agrees to pay all costs of such collection, including reasonable
attorney's fees. Prices subject to change.

In order to terminate this agreement, BY EITHER PARTY, 30 days
written notice is required.

TERMS ACCEPTED:

BLUE SEPTIC TANK SERVICE, INC.

Martha Wright
(Authorized Signature)

Amee Pascan
(Authorized Signature)

Martha Wright
(Please Print Name)

10.30.14 (Date)

10-29-14 (Date)

MAR VISTA RESTAURANT
EXPANSION

**TRANSPORTATION CONCURRENCY
ANALYSIS**

November 17, 2014

**PREPARED FOR:
LTA ENGINEERS, LLC.**



4600 W. Cypress Street, Suite 550
Tampa, Florida 33607
Phone: 813.387.0084 Fax: 813.387.0085

PROFESSIONAL ENGINEERING CERTIFICATION

I hereby certify that I am a Professional Engineer, properly registered in the State of Florida for practicing with Grimail Crawford, Inc., a corporation authorized to operate as an engineering business, Certificate of Authority No. 0008370, by the State of Florida Department of Professional Regulation, Board of Professional Engineers. I am qualified to accomplish work in the areas of Traffic, Transportation and Civil Engineering. I have prepared or been in responsible charge of the evaluations, findings, opinions, conclusions or technical advice attached hereto for:

PROJECT: Mar Vista Restaurant Expansion

LOCATION: Town of Longboat Key

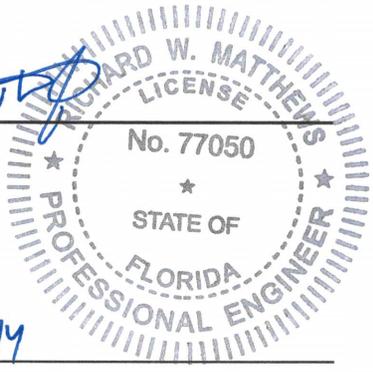
CLIENT: LTA Engineers, LLC.

I hereby acknowledge that the procedures and references used to develop the results contained in these analyses, computations and design are standard to the professional practices of Traffic, Transportation and Civil Engineering as applied through professional judgment and experience.

Name: Richard W. Matthews, P.E.

P.E. No.: 77050

Signature: 



Date: 11/17/14

Mar Vista Restaurant Expansion

Transportation Concurrency Analysis

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I. INTRODUCTION

Grimail Crawford has been retained to conduct a transportation study for the Mar Vista Restaurant expansion (Project). The Project site is located in Longboat Key, off of Broadway Street east of SR 789/Gulf of Mexico Drive. This location is illustrated in **Figure 1**. The Project will be an expansion of the existing restaurant, increasing the total square footage from 6,443 to 7,895, an increase of 1,452 square feet. The transportation analysis outlined below provides an evaluation of the existing conditions and the projected traffic conditions relative to the proposed additional square footage. Future conditions are analyzed for the year 2017, assuming a three year build-out for the Project. A site plan is provided in **Appendix 1**.

This analysis is an update to the previously-approved transportation analysis conducted in November 2012 by Grimail Crawford. The current analysis reflects the previously-approved methodology but considers 2014 traffic count data, as well as the most current technical standards and procedures.

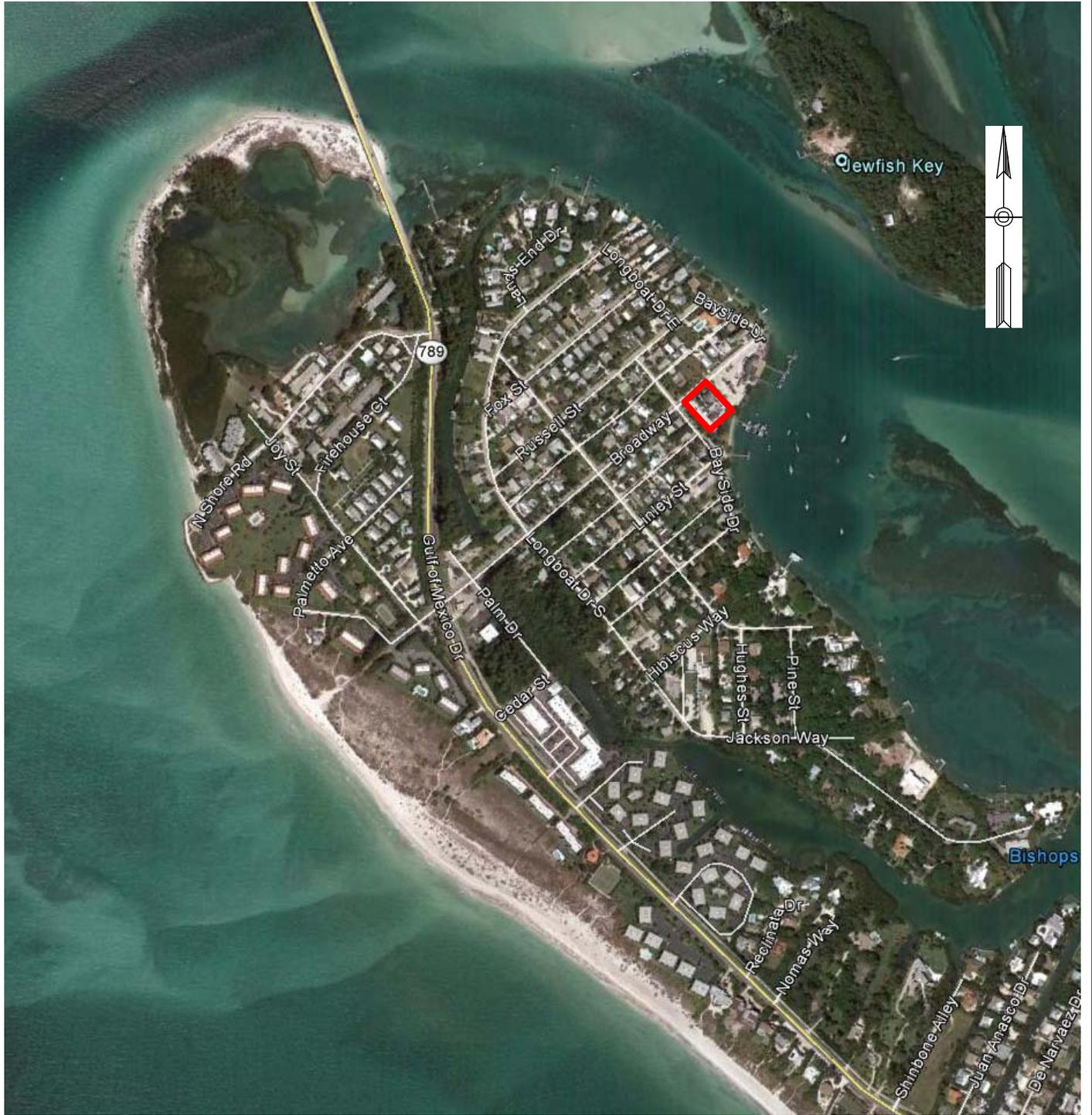


FIGURE 1
Project Site Location

Mar Vista Restaurant
Longboat Key, Florida

Key:

 = Project Site



November 2014

II. PROJECT TRAFFIC GENERATION ESTIMATES

The proposed expansion will add indoor and outdoor space to the existing Mar Vista restaurant. While the number of seats at the restaurant will not be increased as a part of the expansion, it is assumed for the purpose of this analysis that the additional square footage will add vehicular traffic at the Project site. Trip generation for the additional square footage was determined using ITE's *Trip Generation Manual, 9th Edition*. The restaurant is located within walking distance of many residential units and is also accessible by boat. The *Trip Generation Manual* does not have a land use code that reflects these specific characteristics. Therefore, a PM peak hour traffic count was conducted at the existing Mar Vista restaurant to compare its actual trip rate to the trip rates from the *Trip Generation Manual*. The count of actual vehicular traffic, adjusted to reflect peak season conditions, reports 16 entering and 4 exiting trips during the PM peak hour, with a resulting PM peak hour trip rate of 3.10 trips per 1,000 square feet. This is well below the rates of similar restaurant types listed in the *Trip Generation Manual*. As a conservative approach, the "Quality Restaurant" land use (LUC 931) was applied to the new square footage for the Project. This land use has an associated PM peak hour trip rate of 7.49 trips per 1,000 square feet, which is significantly larger than the measured rate at the existing restaurant. The resulting trip generation for the proposed additional square feet is reported in **Table 1**.

Table 1: Trip Generation (Proposed Additional Square Footage)

Land Use	ITE LUC	Size	Units	Gross PM Peak Hour Trips	
				In	Out
Quality Restaurant	931	1,452	s.f.	7	4

Source : ITE Trip Generation Manual, 9th Edition, 2012

As reported in **Table 1**, the restaurant expansion is estimated to generate 11 additional PM peak hour trips for this analysis. Documentation from the *Trip Generation Manual* for the “Quality Restaurant” land use is provided in **Appendix 2**. The traffic count for the existing restaurant is also provided in **Appendix 2**.

III. PROJECT DISTRIBUTION AND ASSIGNMENT

It was assumed that all vehicular traffic to the Project would arrive and depart by travelling on Gulf of Mexico drive to/from Broadway Street. Traffic assignments to the roadway network were estimated using a turning movement count at Gulf of Mexico Drive and Broadway Street. The volumes from this count associated with Broadway Street suggest that approximately 56% of Project trips will travel to/from the north on Gulf of Mexico Drive, with the remaining 44% travelling to/from the south. The estimated Project traffic volumes (corresponding to the additional square footage) at the intersection of Gulf of Mexico Drive and Broadway Street are illustrated in **Figure 2**.

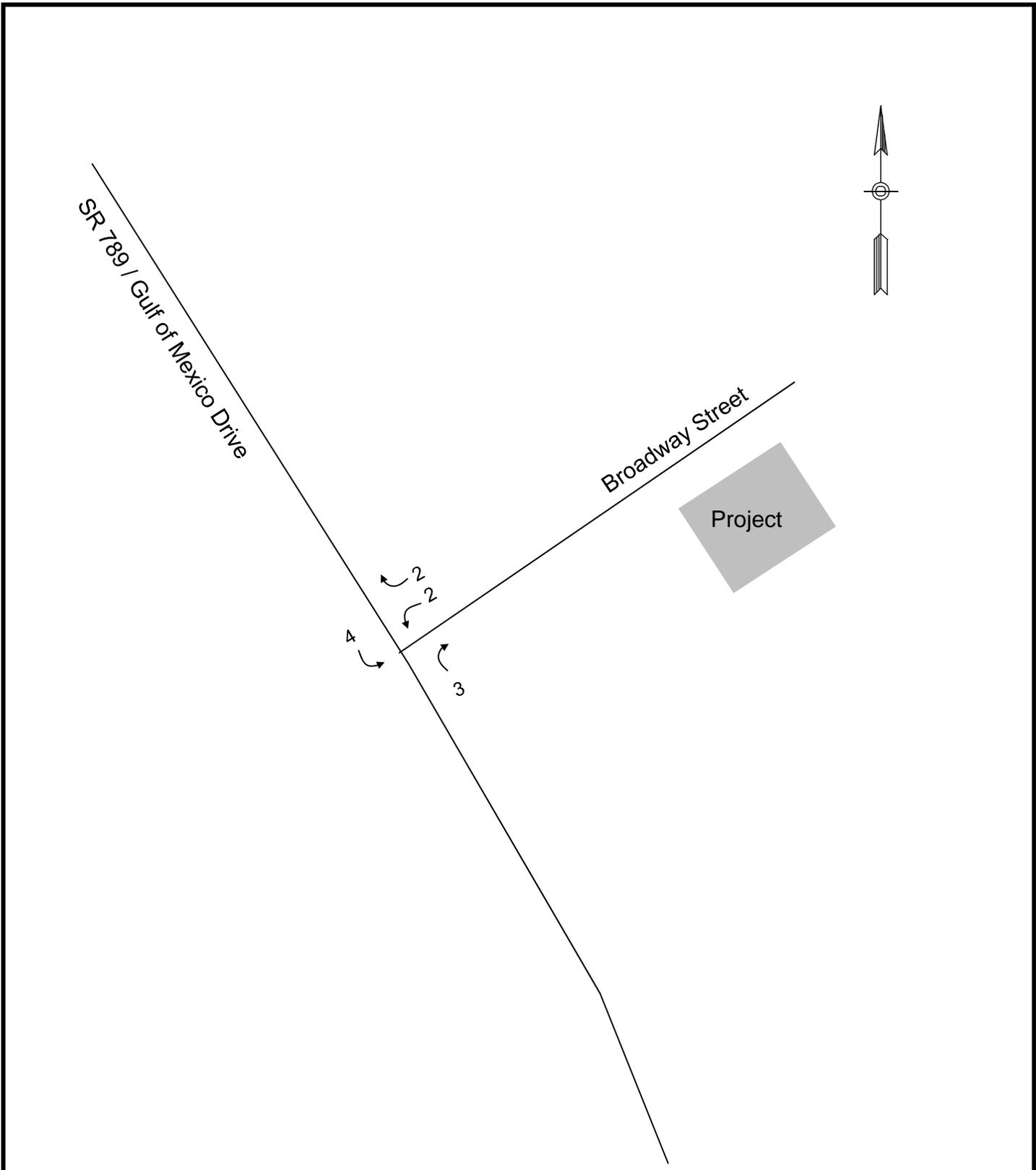


FIGURE 2
 Project Traffic
 (for additional square feet)
Mar Vista Restaurant
 Longboat Key, Florida

Key:
 ↪ XXX = PM Peak
 Hour Traffic



November 2014

IV. IMPACT STUDY AREA

Consistent with the previously-approved transportation methodology for the Project, the study area for this analysis comprises Gulf of Mexico Drive, from the Town of Longboat Key town limit to Binnacle Point Drive, and the intersection of Gulf of Mexico Drive/Broadway Street.

V. EXISTING CONDITIONS

The Project site accesses Gulf of Mexico Drive via Broadway Avenue. Gulf of Mexico Drive is the first-accessed regulated roadway, and in the area of the Project is a two-lane, uninterrupted State roadway with two-way left-turn storage. The posted speed limit is 45 MPH. This area is served by SCAT Route 18 (Longboat Key Trolley) with 1-hour headways, and service seven days a week. Bus stops are located along each side of Gulf of Mexico Drive just south of Broadway Street.

This section of Gulf of Mexico Drive also has a marked bicycle lane on the east side of the roadway, and an unmarked paved shoulder on the west side of the roadway. An 8-foot multi-use trail is located in the right-of-way on the east side of the roadway.

Existing traffic conditions at the intersection of Gulf of Mexico Drive and Broadway Street were established by collecting a PM peak hour turning movement count (from 4:00 PM to 6:00 PM) at the intersection. These counts were seasonally adjusted using the peak season conversion factor from the 2013

Florida Traffic Information DVD. For the roadway of Gulf of Mexico Drive, the most recent FDOT count (station 5061) from the *2013 Florida Traffic Information DVD* was used. For Gulf of Mexico Drive, the standard FDOT roadway K of 0.09 and D of 0.535 was used to establish peak hour directional volumes. A copy of the traffic counts and peak season correction factor are provided in **Appendix 3**, and the existing intersection volumes are illustrated in **Figure 3**.

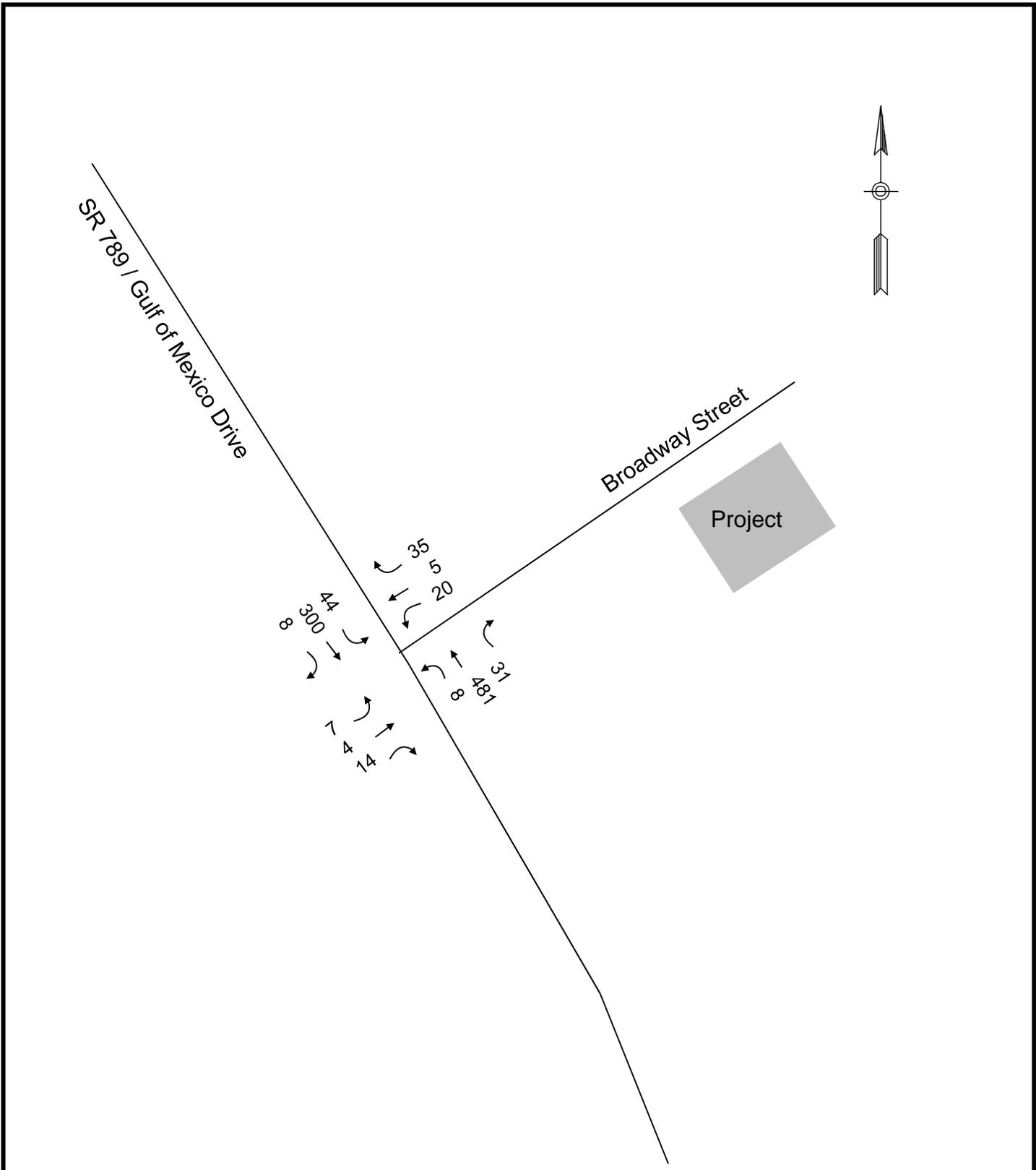


FIGURE 3
Existing Traffic (2014)

Mar Vista Restaurant
Longboat Key, Florida

Key:

↪ XXX = PM Peak
Hour Traffic



November 2014

Roadway capacity analysis for existing conditions was performed using the service volumes from FDOT's Generalized Tables (12/18/12 version). **Table 2** reports the existing roadway volume and service volume comparisons and indicates that the study segment currently meets LOS standards.

Table 2: Roadway Capacity Analysis – Existing Conditions

Roadway	From	To	No. Lanes	Existing PM Pk. Hr. Volumes		Adopted LOS Standard	Adopted Service Volume*		Existing PM Pk. Hr. LOS	
				NB/EB	SB/WB		NB/EB	SB/WB	NB/EB	SB/WB
Gulf of Mexico Dr	North Town Limit	Binnacle Point Dr	2	414	360	E	1640	1640	B	B

*Obtained from FDOT Generalized Tables, 12/18/12 version (Table 7, uninterrupted flow highway)

At the Gulf of Mexico Drive/Broadway Street intersection, analysis was performed using HCS 2010 software, for two-way stop control conditions. HCS returns an LOS of “C” for eastbound traffic, “C” for westbound traffic, and “A” for NB left-turn and SB left-turn traffic. These levels of service are all within the Town's adopted LOS standard of E for Gulf of Mexico Drive, and they indicate acceptable operations during existing PM peak hour conditions. HCS worksheets for the existing year analysis are provided in **Appendix 4**.

VI. BACKGROUND VOLUMES

Background (future, non-Project) traffic was projected to the year 2017 using an annual growth rate of 1% on Gulf of Mexico Drive. Historical AADT data on Gulf of Mexico Drive (provided in **Appendix 5**) indicate flat or slightly negative growth over the past 5 to 15 years, and the 1% growth rate was therefore chosen as a conservative minimum value. The resulting projection of background traffic volumes is documented in **Appendix 6**.

VII. FUTURE TOTAL CONDITIONS

To develop total traffic volumes for the year 2017, Project trips were added to background traffic volumes. This process is documented in **Appendix 6**, and **Figure 4** illustrates the future total volumes at the intersection of Gulf of Mexico Drive and Broadway Street.

Roadway capacity analysis for total conditions was again performed using the generalized service volumes. **Table 4** below reports the capacity analysis and indicates that the study segment will continue to operate within the adopted level of service standard through the build-out year.

Table 3: Roadway Capacity Analysis – Total Traffic Conditions

Roadway	From	To	Existing PM Peak Hour. Volumes (2014)		Annual Growth Rate	Background Volumes (2017)		Project Traffic Volumes		Total Traffic Volumes (2017)		Adopted Service Volumes		Future PM Peak Level of Service (2017)	
			NB/EB	SB/WB		NB/EB	SB/WB	NB/EB	SB/WB	NB/EB	SB/WB	NB/EB	SB/WB	NB/EB	SB/WB
Gulf of Mexico Dr	North Town Limit	Binnacle Point Dr	414	360	1.00%	426	371	2	4	428	375	1640	1640	C	B

HCS analysis of future total conditions at the Gulf of Mexico Drive/Broadway returns an LOS of “C” for eastbound traffic, “C” for westbound traffic, and “A” for NB left-turn and southbound left-turn traffic. These levels of service are all within the Town’s adopted LOS standard of E for Gulf of Mexico Drive, and they indicate acceptable operations during the PM peak hour for total traffic conditions. HCS worksheets for the future year analysis are provided in **Appendix 7**.

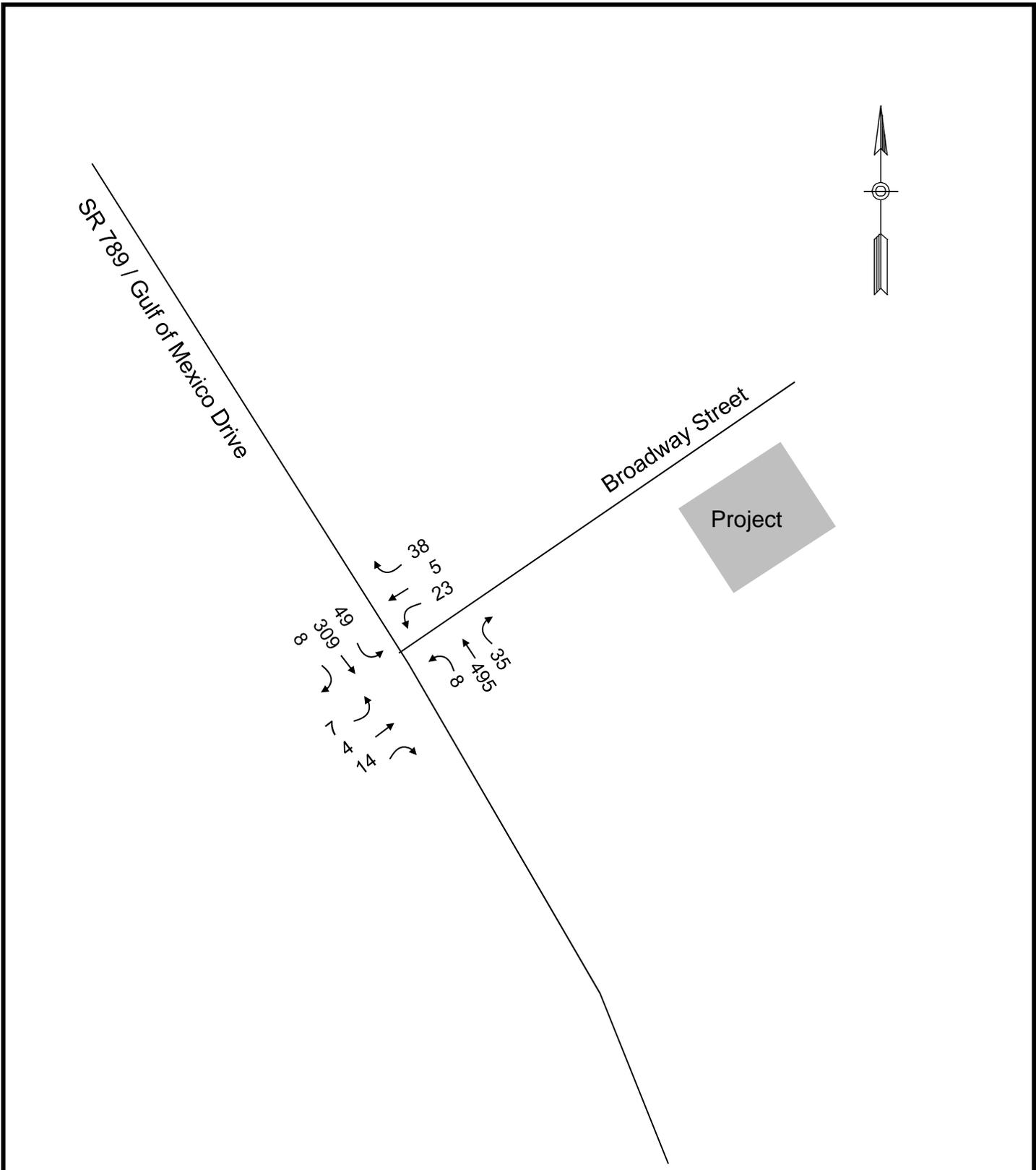


FIGURE 4
Total Traffic (2017)

Mar Vista Restaurant
 Longboat Key, Florida

Key:

↪ XXX = PM Peak
 Hour Traffic



November 2014

VIII. COMPLIANCE WITH COMPREHENSIVE PLAN

In order to ensure that the Project complies with the Town of Longboat Key's Comprehensive Plan, the relevant Objectives and Policies from the Transportation Element have been reproduced and addressed below in the bolded notes:

OBJECTIVE 1.1

The Town will develop a multi-modal transportation system that provides for safe and efficient movement by walking, cycling, and transit service while also taking advantage of opportunities to improve traffic flow circulation on public roads.

Policy 1.1.1

The Town adopts the following peak-season, peak-hour LOS standards for each listed facility:

- 1) Local and collector roads –LOS C
- 2) Urban collectors – LOS E

The peak-season adjustment factor will be determined annually through coordination with the Florida Department of Transportation (FDOT), District 1 Office. The Town's Future Transportation network is identified on Figure 2.

Note: Analysis indicates that the LOS under peak season conditions in each direction on Gulf of Mexico Drive will meet the LOS standard of E under total traffic conditions in 2017.

Policy 1.1.2

All intersections on Gulf of Mexico Drive (GMD, SR 789), within the Town, will operate at LOS E or better in the peak season peak hour. All other intersections, within the Town, will operate at LOS D or better.

Note: HCS analysis indicates that the intersection of Broadway Street and Gulf of Mexico Drive will operate at an acceptable LOS under total traffic conditions in 2017.

Policy 1.1.3

The Town will monitor traffic growth to ensure that the adopted LOS standards are not exceeded before the approval of future additional development.

Note: The transportation analysis demonstrates that the Project will not cause the LOS to drop below standard on either the adjacent segment of Gulf of Mexico Drive or the adjacent intersection of Gulf of Mexico Drive and Broadway Street.

Policy 1.1.4

The Town will ensure that comprehensive plan amendments and development activities provide adequate, safe, convenient and context-appropriate on-site and off-site transportation infrastructure, including alternative modes of transportation, in order to preserve the health, safety and welfare of the citizens of and visitors to the Town of Longboat Key.

Note: The transportation analysis demonstrates that the proposed development will not cause any substandard levels of service on Gulf of Mexico Drive, and that the first-accessed intersection will continue to operate acceptably with the Project.

Alternative modes of transportation are also accommodated at the location of the Project. A bus stop for SCAT Route 18 is located near the Project on Gulf of Mexico Drive, which provides hourly transit service. A bike lane on Gulf of Mexico Drive, and a multi-purpose trail across the street from the Project running parallel to Gulf of Mexico Drive, will accommodate bicycle and pedestrian transportation to and from the site.

Policy 1.1.5

Pursuant to the provisions of Chapter 2011-1398, Laws of Florida, the Town considers GMD (SR 789) an important state transportation facility and shall monitor its function and operation as well as safety within and along its corridor.

Note: Traffic counts collected near the Project indicate that Gulf of Mexico Drive/SR 789 is currently operating within the adopted level of service standard in both directions during the PM peak hour. With background growth to the year 2017 and the addition of Project trips, the roadway is expected to continue operating at within the adopted level of service standard. Therefore, an acceptable PM peak hour level of service on SR 789 is anticipated at least through the year 2017.

Policy 1.1.9

In addition to the requirements of Policies 1.1.6 and 1.1.7, all comprehensive plan amendments and development orders, regardless of their trip generation volumes, shall provide safe, convenient, and

operationally sound access to and movement within a development site for all users, particularly pedestrians, including:

- 1) Site access, including access from and to GMD (SR 789) and collector roads;
- 2) Internal circulation;
- 3) Connectivity to the public right-of-way and adjacent sites; and
- 4) Pedestrian-orientated amenities as appropriate (i.e. bus shelters/stops, awnings and shade trees, etc.).

Note: As previously noted, the transportation analysis demonstrates the proposed development will not cause any substandard levels of service on Gulf of Mexico Drive, and that the first accessed intersection will continue to operate acceptably with the Project.

Finally, a multi-purpose trail and a bus-stop at the site provide for alternative modes of transportation.

IX. CONCLUSION

This traffic study was prepared to evaluate the potential impacts that the Mar Vista Restaurant expansion will have on the surrounding roadway network in 2017. The findings of this analysis indicate that the roadways and intersections within the study area will meet the adopted level of service standards under total traffic conditions (including the Project) in 2017.

Furthermore, the analysis indicates that the first accessed intersection of Gulf of Mexico Drive and Broadway Street will operate acceptably under build out conditions.

Finally, a review of the analysis and findings of the study show that the proposed development will be consistent with the Goals, Objectives, and Policies of the Town of Longboat Key Comprehensive Plan.

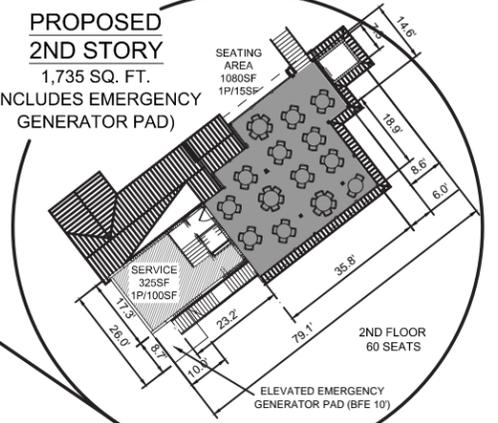
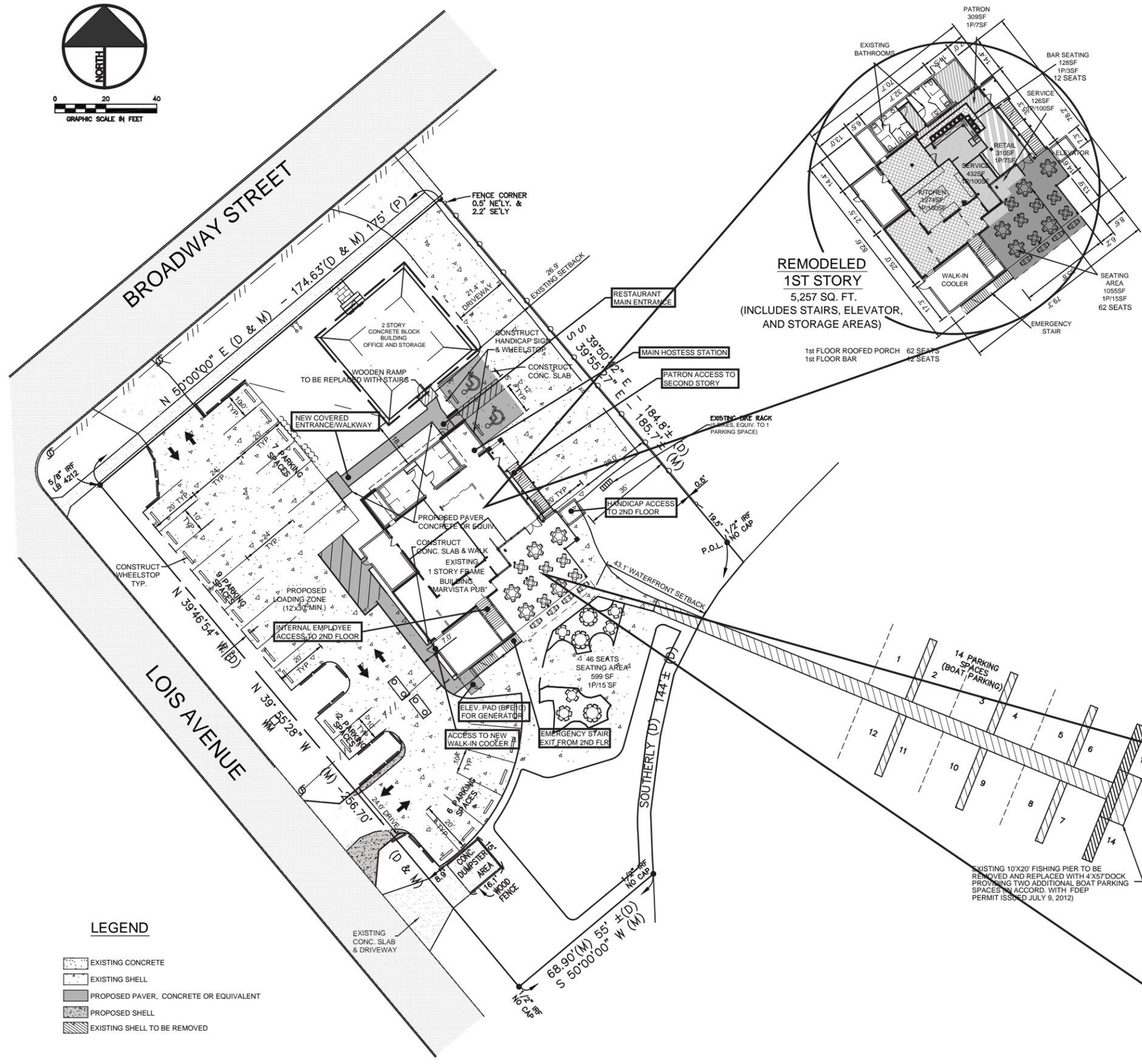
APPENDIX 1
SITE PLAN



LOT SIZE, BUILDABLE: **39,941.00** square feet, as supported by submitted signed/sealed survey.

LOT COVERAGE CALCULATIONS (30% Maximum)			
	IN SQUARE FEET		
	EXISTING AS OF 8-29-12	THIS PERMIT	BY OTHERS
NON-POOL/SPA AREAS			
BUILDINGS AND STRUCTURES (from exterior walls/columns)	5,152	752	
FRONT ENTRY AND FRONT STEPS (roofed and unroofed)	40	590	
REAR ENTRY & REAR STAIRS (roofed and unroofed)	56	160	
ROOFED PORCH / DINING	1083	0	
RAISED DECK OR TERRACE (>6" above finished grade)	112	-50	
TOTAL LOT COVERAGE SQUARE FOOTAGE (sum of "existing", "this permit", and "by others")		7,895 Sq. Ft.	
TOTAL LOT COVERAGE PERCENTAGE		7,895 Sq. Ft. / Lot Size = 19.77 %	

NON-OPEN SPACE CALCULATIONS (80% Maximum)			
	IN SQUARE FEET		
	EXISTING	THIS PERMIT	BY OTHERS
AT-GRADE IMPROVEMENTS			
DRIVEWAY/PARKING AREAS (as per site plan) (all surface types)	15,695	-776	
DESIGNATED WALKWAYS/SIDEWALKS, (as per site plan) (all surface types)	2,328	99	
IMPERMEABLE PATIOS, SLABS, ETC.	242	311	
IMPERMEABLE POOL DECK (at-grade)	0	0	
POOL/SPA SHELL (at grade)	0	0	
MECHANICAL EQUIPMENT PADS (i.e. A/C, pool) (at-grade)	93	0	
OTHER IMPERVIOUS SURFACE (at-grade)	599	0	
TOTAL AT-GRADE SQUARE FOOTAGE (sum of "existing", "this permit", and "by others")		18,357 Sq. Ft.	
TOTAL LOT COVERAGE & NON-OPEN SPACE SQUARE FOOTAGE		26,252 Sq. Ft.	
TOTAL LOT COVERAGE & NON-OPEN SPACE PERCENTAGE		26,252 Sq. Ft. / Lot Size = 65.73%	



LEGEND

- EXISTING CONCRETE
- EXISTING SHELL
- PROPOSED PAVER, CONCRETE OR EQUIVALENT
- PROPOSED SHELL
- EXISTING SHELL TO BE REMOVED

CADD File: ALT PKG-SITE PLAN 2012.dwg
Date: 02/10
Scale: SEE SCALE
Design By: KAT
Drawn By: KAT
Checked By: LTB
Project No.: 417-01-01-10

1922 53rd Avenue East
Bradenton, FL 34203
Phone 941.756.9100
Fax 941.756.9119

LTA ENGINEERS, LLC
Civil Engineers & Land Planners

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NO.	REVISION	DATE	BY
1	REVISED PER STAFF COMMENTS	7/26/10	LSB
2	REVISED PER STAFF COMMENTS	8/22/10	LSB
3	REVISED PER STAFF COMMENTS	10/14/10	LSB
4	REVISED OUTDOOR DINING AREA / RENOVATION	8/12/11	LSB
5	REVISED LOCATION OF NEW GREAT STAIRS	11/20/11	LSB
6	ADD DUMPSTER PAD DETAIL	12/3/12	LSB
7	REV. DUMPSTER COMPACTOR PAD AND ADDED DETAILS	02/02/13	LSB
8	REV. UPSTAIRS TO 2ND FLOOR	02/02/13	LSB
9	REVISED PER LTA COMMENTS	02/02/13	LSB
10	REVISED PER LTA COMMENTS	02/02/13	LSB
11	REVISED PER LTA COMMENTS	02/02/13	LSB
12	REVISED PER LTA COMMENTS	02/02/13	LSB

RELOCATE HANDICAP PARKING SPACES
ELIMINATE 2ND STORY DECK OVER URBAN HOUSE, RELOCATE ELEVATOR

MAR VISTA RESTAURANT RENOVATION
Town of Longboat Key, FL
Sec. 15, Twp. 35 S, Rge 16 E Manatee County, Florida

SITE PLAN

Mark Tompkins, P.E.
Professional Engineer
C.A. No. 20044
Date: 02/10/13

APPENDIX 2

ITE TRIP GENERATION SHEET/EXISTING
RESTAURANT TRAFFIC COUNT

Quality Restaurant (931)

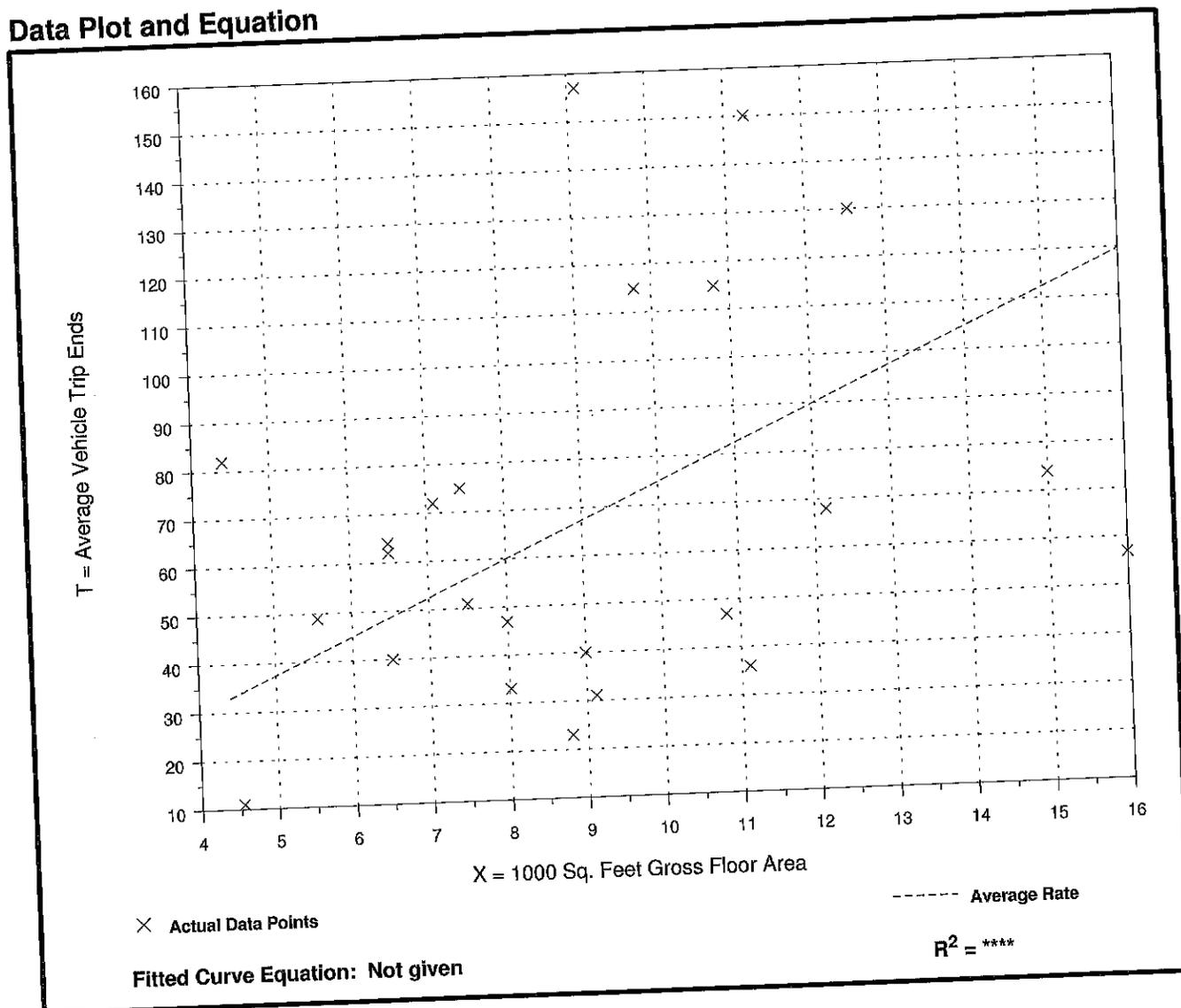
Average Vehicle Trip Ends vs: 1000 Sq. Feet Gross Floor Area
 On a: Weekday,
 Peak Hour of Adjacent Street Traffic,
 One Hour Between 4 and 6 p.m.

Number of Studies: 24
 Average 1000 Sq. Feet GFA: 9
 Directional Distribution: 67% entering, 33% exiting

Trip Generation per 1000 Sq. Feet Gross Floor Area

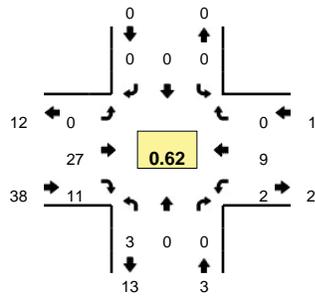
Average Rate	Range of Rates	Standard Deviation
7.49	2.42 - 18.64	4.89

Data Plot and Equation



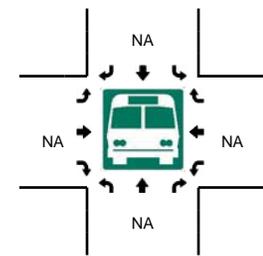
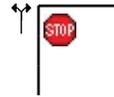
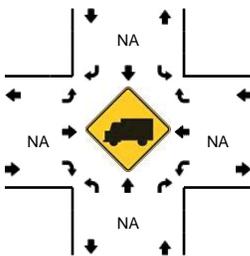
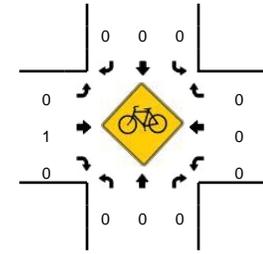
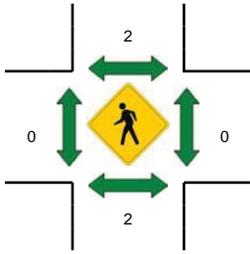
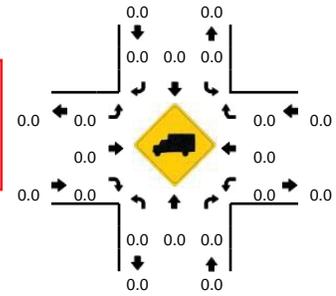
LOCATION: Mar Vista Dwy -- Broadway St
CITY/STATE: Longboat Key, FL

QC JOB #: 13138202
DATE: Thu, Nov 06 2014



Peak-Hour: 5:00 PM -- 6:00 PM
Peak 15-Min: 5:45 PM -- 6:00 PM

11+2 = 13 entering
 3 exiting
 x 1.2 (PSCF) = 16 entering, 4 exiting



15-Min Count Period Beginning At	Mar Vista Dwy (Northbound)				Mar Vista Dwy (Southbound)				Broadway St (Eastbound)				Broadway St (Westbound)				Total	Hourly Totals
	Left	Thru	Right	U	Left	Thru	Right	U	Left	Thru	Right	U	Left	Thru	Right	U		
4:00 PM	2	0	0	0	0	0	0	0	0	6	1	0	1	3	0	0	13	
4:15 PM	1	0	0	0	0	0	0	0	0	3	1	0	0	2	0	0	7	
4:30 PM	2	0	0	0	0	0	0	0	0	8	0	0	0	0	0	0	10	
4:45 PM	1	0	0	0	0	0	0	0	0	5	3	0	1	0	0	0	10	40
5:00 PM	0	0	0	0	0	0	0	0	0	6	2	0	0	3	0	0	11	38
5:15 PM	0	0	0	0	0	0	0	0	0	4	3	0	1	1	0	0	9	40
5:30 PM	1	0	0	0	0	0	0	0	0	6	1	0	0	3	0	0	11	41
5:45 PM	2	0	0	0	0	0	0	0	0	11	5	0	1	2	0	0	21	52

Peak 15-Min Flowrates	Northbound				Southbound				Eastbound				Westbound				Total
	Left	Thru	Right	U	Left	Thru	Right	U	Left	Thru	Right	U	Left	Thru	Right	U	
All Vehicles	8	0	0	0	0	0	0	0	0	44	20	0	4	8	0	0	84
Heavy Trucks	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Pedestrians	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Bicycles	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Railroad																	
Stopped Buses																	

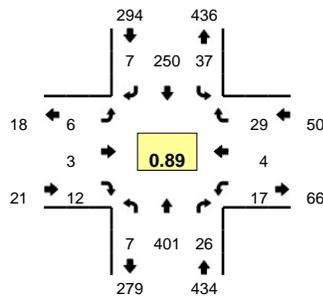
Comments:

APPENDIX 3

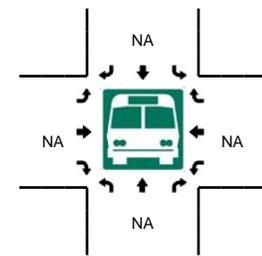
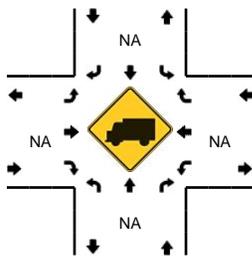
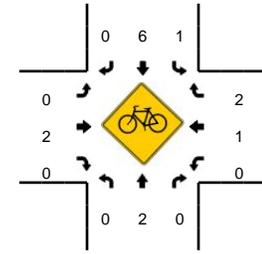
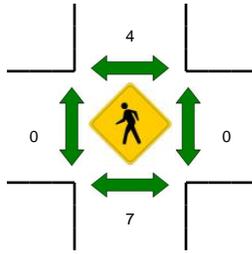
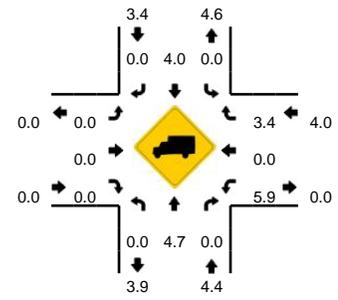
EXISTING TRAFFIC COUNT/PEAK
SEASON CONVERSION FACTOR

LOCATION: Gulf of Mexico Dr -- Broadway St
CITY/STATE: Longboat Key, FL

QC JOB #: 13138201
DATE: Thu, Nov 06 2014



Peak-Hour: 4:15 PM -- 5:15 PM
Peak 15-Min: 4:30 PM -- 4:45 PM



15-Min Count Period Beginning At	Gulf of Mexico Dr (Northbound)				Gulf of Mexico Dr (Southbound)				Broadway St (Eastbound)				Broadway St (Westbound)				Total	Hourly Totals
	Left	Thru	Right	U	Left	Thru	Right	U	Left	Thru	Right	U	Left	Thru	Right	U		
4:00 PM	1	92	8	0	11	46	2	0	1	2	3	0	8	3	9	0	186	
4:15 PM	1	79	6	0	6	57	3	0	2	1	4	0	5	2	7	0	173	
4:30 PM	3	106	6	0	11	80	2	0	1	1	4	0	4	0	6	0	224	
4:45 PM	3	96	7	0	11	48	0	0	3	0	3	0	5	1	9	0	186	769
5:00 PM	0	120	7	0	9	65	2	0	0	1	1	0	3	1	7	0	216	799
5:15 PM	4	91	8	0	5	36	3	0	1	3	4	0	3	2	4	0	164	790
5:30 PM	1	72	9	0	5	46	2	0	0	1	1	0	5	1	4	0	147	713
5:45 PM	1	56	17	0	9	42	1	0	5	1	5	0	4	1	6	0	148	675
Peak 15-Min Flowrates	Northbound				Southbound				Eastbound				Westbound				Total	
All Vehicles	12	424	24	0	44	320	8	0	4	4	16	0	16	0	24	0	896	
Heavy Trucks	0	16	0	0	0	8	0	0	0	0	0	0	4	0	0	0	28	
Pedestrians	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
Bicycles	0	0	0	0	1	3	0	0	0	0	0	0	0	0	0	0	4	
Railroad																		
Stopped Buses																		

Comments:

2013 Peak Season Factor Category Report - Report Type: ALL
 Category: 1303 BEACH AREAS

MOCF: 0.89

Week	Dates	SF	PSCF
1	01/01/2013 - 01/05/2013	1.04	1.17
2	01/06/2013 - 01/12/2013	0.99	1.11
3	01/13/2013 - 01/19/2013	0.95	1.07
4	01/20/2013 - 01/26/2013	0.93	1.04
* 5	01/27/2013 - 02/02/2013	0.92	1.03
* 6	02/03/2013 - 02/09/2013	0.91	1.02
* 7	02/10/2013 - 02/16/2013	0.90	1.01
* 8	02/17/2013 - 02/23/2013	0.89	1.00
* 9	02/24/2013 - 03/02/2013	0.88	0.99
*10	03/03/2013 - 03/09/2013	0.88	0.99
*11	03/10/2013 - 03/16/2013	0.87	0.98
*12	03/17/2013 - 03/23/2013	0.87	0.98
*13	03/24/2013 - 03/30/2013	0.88	0.99
*14	03/31/2013 - 04/06/2013	0.89	1.00
*15	04/07/2013 - 04/13/2013	0.90	1.01
*16	04/14/2013 - 04/20/2013	0.91	1.02
*17	04/21/2013 - 04/27/2013	0.93	1.04
18	04/28/2013 - 05/04/2013	0.95	1.07
19	05/05/2013 - 05/11/2013	0.97	1.09
20	05/12/2013 - 05/18/2013	0.99	1.11
21	05/19/2013 - 05/25/2013	1.00	1.12
22	05/26/2013 - 06/01/2013	1.01	1.13
23	06/02/2013 - 06/08/2013	1.02	1.15
24	06/09/2013 - 06/15/2013	1.03	1.16
25	06/16/2013 - 06/22/2013	1.04	1.17
26	06/23/2013 - 06/29/2013	1.04	1.17
27	06/30/2013 - 07/06/2013	1.05	1.18
28	07/07/2013 - 07/13/2013	1.05	1.18
29	07/14/2013 - 07/20/2013	1.05	1.18
30	07/21/2013 - 07/27/2013	1.06	1.19
31	07/28/2013 - 08/03/2013	1.07	1.20
32	08/04/2013 - 08/10/2013	1.09	1.22
33	08/11/2013 - 08/17/2013	1.10	1.24
34	08/18/2013 - 08/24/2013	1.11	1.25
35	08/25/2013 - 08/31/2013	1.13	1.27
36	09/01/2013 - 09/07/2013	1.14	1.28
37	09/08/2013 - 09/14/2013	1.16	1.30
38	09/15/2013 - 09/21/2013	1.17	1.31
39	09/22/2013 - 09/28/2013	1.15	1.29
40	09/29/2013 - 10/05/2013	1.12	1.26
41	10/06/2013 - 10/12/2013	1.10	1.24
42	10/13/2013 - 10/19/2013	1.08	1.21
43	10/20/2013 - 10/26/2013	1.07	1.20
44	10/27/2013 - 11/02/2013	1.07	1.20
45	11/03/2013 - 11/09/2013	1.07	1.20
46	11/10/2013 - 11/16/2013	1.07	1.20
47	11/17/2013 - 11/23/2013	1.07	1.20
48	11/24/2013 - 11/30/2013	1.06	1.19
49	12/01/2013 - 12/07/2013	1.06	1.19
50	12/08/2013 - 12/14/2013	1.05	1.18
51	12/15/2013 - 12/21/2013	1.04	1.17
52	12/22/2013 - 12/28/2013	0.99	1.11
53	12/29/2013 - 12/31/2013	0.95	1.07

* Peak Season

FLORIDA DEPARTMENT OF TRANSPORTATION
 2013 Annual Average Daily Traffic Report - Report Type: ALL

County: 13 MANATEE

Site	Site Type	Description	Direction 1		Direction 2		AADT Two-Way	"K" FCTR	"D" FCTR	"T" FCTR
====	====	=====	=====	=====	=====	=====	=====	=====	=====	=====
5061		SR789/LONGBOAT KEY, NORTHWEST OF BINNACLE POINT	N 4300E	S 4300E	8600 F	9.0	53.5F	3.6P		

Site Type : Blank= Portable; T= Telemetered

"K" Factor : Department adopted standard K factor beginning with count year 2011

AADT Flags : C= Computed; E= Manual Est; F= First Year Est; S= Second Year Est; T= Third Year Est; X= Unknown

"D/T" Flags : A= Actual; F= Factor Catg; D= Dist Funcl; P= Prior Year; S= Statewide Default; W= One-Way Road; X= Cross Ref

APPENDIX 4
EXISTING CONDITIONS HCS
WORKSHEET

TWO-WAY STOP CONTROL SUMMARY

General Information		Site Information	
Analyst	RWM	Intersection	Gulf of Mexico/Broadway
Agency/Co.	GCI	Jurisdiction	Longboat Key
Date Performed	11/2014	Analysis Year	2014 Existing
Analysis Time Period	PM Peak Hour		

Project Description <i>Mar Vista Expansion</i>	
East/West Street: <i>Broadway Street</i>	North/South Street: <i>Gulf of Mexico Drive</i>
Intersection Orientation: <i>North-South</i>	Study Period (hrs): <i>0.25</i>

Vehicle Volumes and Adjustments						
Major Street	Northbound			Southbound		
Movement	1	2	3	4	5	6
	L	T	R	L	T	R
Volume (veh/h)	8	481	31	44	300	8
Peak-Hour Factor, PHF	0.89	0.89	0.89	0.89	0.89	0.89
Hourly Flow Rate, HFR (veh/h)	8	540	34	49	337	8
Percent Heavy Vehicles	2	--	--	2	--	--
Median Type	<i>Undivided</i>					
RT Channelized			0			0
Lanes	1	1	1	1	1	0
Configuration	L	T	R	L		TR
Upstream Signal		0			0	

Minor Street	Eastbound			Westbound		
Movement	7	8	9	10	11	12
	L	T	R	L	T	R
Volume (veh/h)	7	4	14	20	5	35
Peak-Hour Factor, PHF	0.89	0.89	0.89	0.89	0.89	0.89
Hourly Flow Rate, HFR (veh/h)	7	4	15	22	5	39
Percent Heavy Vehicles	2	2	2	2	2	2
Percent Grade (%)	0			0		
Flared Approach		N			N	
Storage		0			0	
RT Channelized			0			0
Lanes	0	1	0	0	1	0
Configuration		LTR			LTR	

Delay, Queue Length, and Level of Service								
Approach	Northbound	Southbound	Westbound			Eastbound		
Movement	1	4	7	8	9	10	11	12
Lane Configuration	L	L		LTR			LTR	
v (veh/h)	8	49		66			26	
C (m) (veh/h)	1214	999		327			335	
v/c	0.01	0.05		0.20			0.08	
95% queue length	0.02	0.15		0.74			0.25	
Control Delay (s/veh)	8.0	8.8		18.8			16.6	
LOS	A	A		C			C	
Approach Delay (s/veh)	--	--	18.8			16.6		
Approach LOS	--	--	C			C		

APPENDIX 5
HISTORICAL AADT DATA

Florida Department of Transportation
 Transportation Statistics Office
 2013 Historical AADT Report

County: 13 - MANATEE

Site: 5061 - SR789/LONGBOAT KEY, NORTHWEST OF BINNACLE POINT DR

Year	AADT	Direction 1		Direction 2		*K Factor	D Factor	T Factor
----	-----	-----	-----	-----	-----	-----	-----	-----
2013	8600 F	N	4300	S	4300	9.00	53.50	3.60
2012	8600 C	N	4300	S	4300	9.00	53.90	3.60
2011	7500 F	N	3800	S	3700	9.00	54.50	6.80
2010	7500 C	N	3800	S	3700	10.78	55.28	6.80
2009	9200 C	N	4600	S	4600	11.40	53.60	4.00
2008	8000 C	N	4000	S	4000	12.25	52.91	7.30
2007	8500 C	N	4300	S	4200	12.15	51.63	5.80
2006	8500 C	N	4300	S	4200	10.05	54.98	4.10
2005	9800 C	N	4900	S	4900	10.40	54.10	5.80
2004	8800 C	N	4400	S	4400	10.40	53.60	5.80
2003	9200 C	N	4700	S	4500	10.10	53.80	4.10
2002	11500 C	N	5800	S	5700	10.00	52.00	3.70
2001	12700 C	N	6400	S	6300	10.50	54.00	2.70
2000	10600 C	N	5300	S	5300	10.30	53.20	3.10
1999	10900 C	N	5400	S	5500	10.40	55.30	4.50
1998	9400 C	N	4700	S	4700	10.80	56.40	2.40

AADT Flags: C = Computed; E = Manual Estimate; F = First Year Estimate
 S = Second Year Estimate; T = Third Year Estimate; F = Fourth Year Estimate
 V = Fifth Year Estimate; 6 = Sixth Year Estimate; X = Unknown
 *K Factor: Starting with Year 2011 is StandardK, Prior years are K30 values

APPENDIX 6
TURNING MOVEMENT VOLUME
CALCULATIONS

MAR VISTA RESTAURANT EXPANSION
TURNING MOVEMENT VOLUME CALCULATIONS

Gulf of Mexico Dr and Broadway Street												
P.M. Peak Hour	Eastbound			Westbound			Northbound			Southbound		
	L	T	R	L	T	R	L	T	R	L	T	R
Existing Volumes	EXISTING (2014)											
<i>Raw Counts</i>	6	3	12	17	4	29	7	401	26	37	250	7
<i>Peak Season Conversion Factor</i>	1.20	1.20	1.20	1.20	1.20	1.20	1.20	1.20	1.20	1.20	1.20	1.20
<i>Peak Season Volumes</i>	7	4	14	20	5	35	8	481	31	44	300	8
<i>% Turning Movements</i>	28.0%	16.0%	56.0%	33.3%	8.3%	58.3%	1.5%	92.5%	6.0%	12.5%	85.2%	2.3%
<i>PHF</i>	0.89			0.89			0.89			0.89		
<i>% Heavy Vehicles</i>	2%	2%	2%	2%	2%	2%	2%	5%	2%	2%	4%	2%
Background Traffic	BACKGROUND (2017)											
<i>Growth Rate</i>	1.00%			1.00%			1.00%			1.00%		
<i>Total Background</i>	7	4	14	21	5	36	8	495	32	45	309	8
Project Traffic	PROJECT											
				2		2			3	4		
Total Traffic	TOTAL (2017)											
	7	4	14	23	5	38	8	495	35	49	309	8

APPENDIX 7

TOTAL TRAFFIC HCS WORKSHEET

TWO-WAY STOP CONTROL SUMMARY

General Information		Site Information	
Analyst	RWM	Intersection	Gulf of Mexico/Broadway
Agency/Co.	GCI	Jurisdiction	Longboat Key
Date Performed	11/2014	Analysis Year	2017 Total Traffic
Analysis Time Period	PM Peak Hour		

Project Description <i>Mar Vista Expansion</i>	
East/West Street: <i>Broadway Street</i>	North/South Street: <i>Gulf of Mexico Drive</i>
Intersection Orientation: <i>North-South</i>	Study Period (hrs): <i>0.25</i>

Vehicle Volumes and Adjustments						
Major Street	Northbound			Southbound		
Movement	1	2	3	4	5	6
	L	T	R	L	T	R
Volume (veh/h)	8	495	35	49	309	8
Peak-Hour Factor, PHF	0.89	0.89	0.89	0.89	0.89	0.89
Hourly Flow Rate, HFR (veh/h)	8	556	39	55	347	8
Percent Heavy Vehicles	2	--	--	2	--	--
Median Type	<i>Undivided</i>					
RT Channelized			0			0
Lanes	1	1	1	1	1	0
Configuration	L	T	R	L		TR
Upstream Signal		0			0	

Minor Street	Eastbound			Westbound		
Movement	7	8	9	10	11	12
	L	T	R	L	T	R
Volume (veh/h)	7	4	14	23	5	38
Peak-Hour Factor, PHF	0.89	0.89	0.89	0.89	0.89	0.89
Hourly Flow Rate, HFR (veh/h)	7	4	15	25	5	42
Percent Heavy Vehicles	2	2	2	2	2	2
Percent Grade (%)	0			0		
Flared Approach		N			N	
Storage		0			0	
RT Channelized			0			0
Lanes	0	1	0	0	1	0
Configuration		LTR			LTR	

Delay, Queue Length, and Level of Service								
Approach	Northbound	Southbound	Westbound			Eastbound		
Movement	1	4	7	8	9	10	11	12
Lane Configuration	L	L		LTR			LTR	
v (veh/h)	8	55		72			26	
C (m) (veh/h)	1204	981		309			316	
v/c	0.01	0.06		0.23			0.08	
95% queue length	0.02	0.18		0.88			0.27	
Control Delay (s/veh)	8.0	8.9		20.2			17.4	
LOS	A	A		C			C	
Approach Delay (s/veh)	--	--	20.2			17.4		
Approach LOS	--	--	C			C		

Project Name:

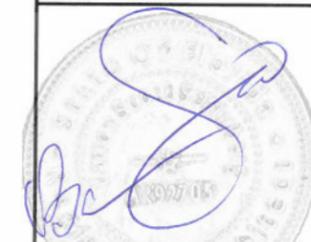


PHASE-III RENOVATION & ADDITION

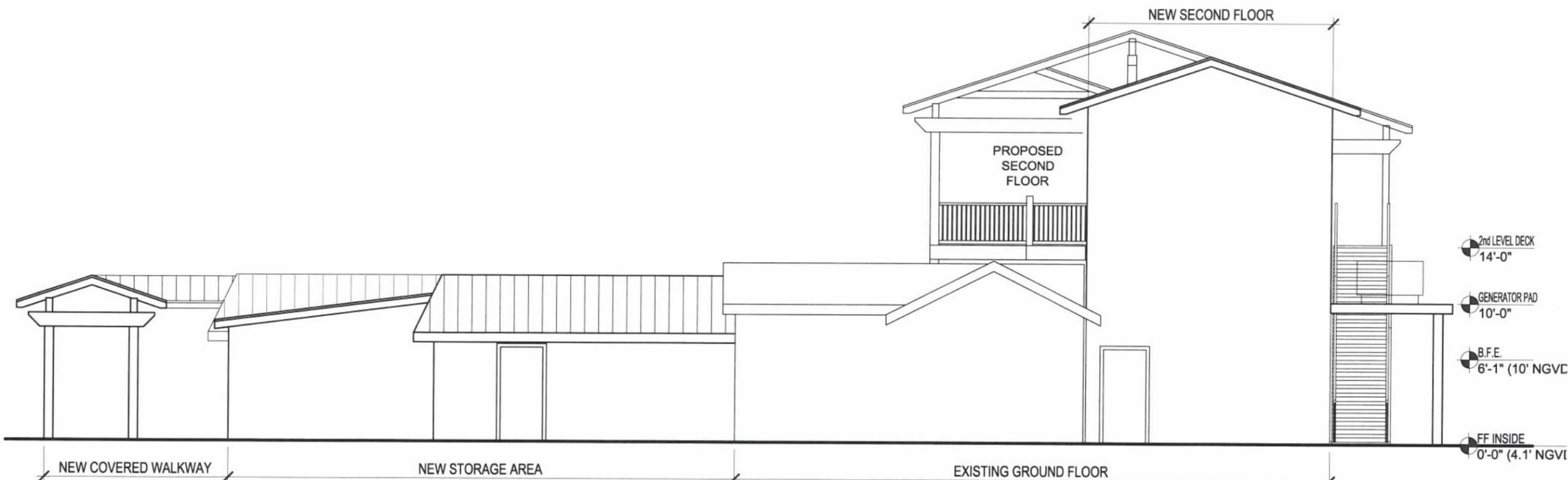
760 Broadway Street N.
Longboat Key, FL 34228



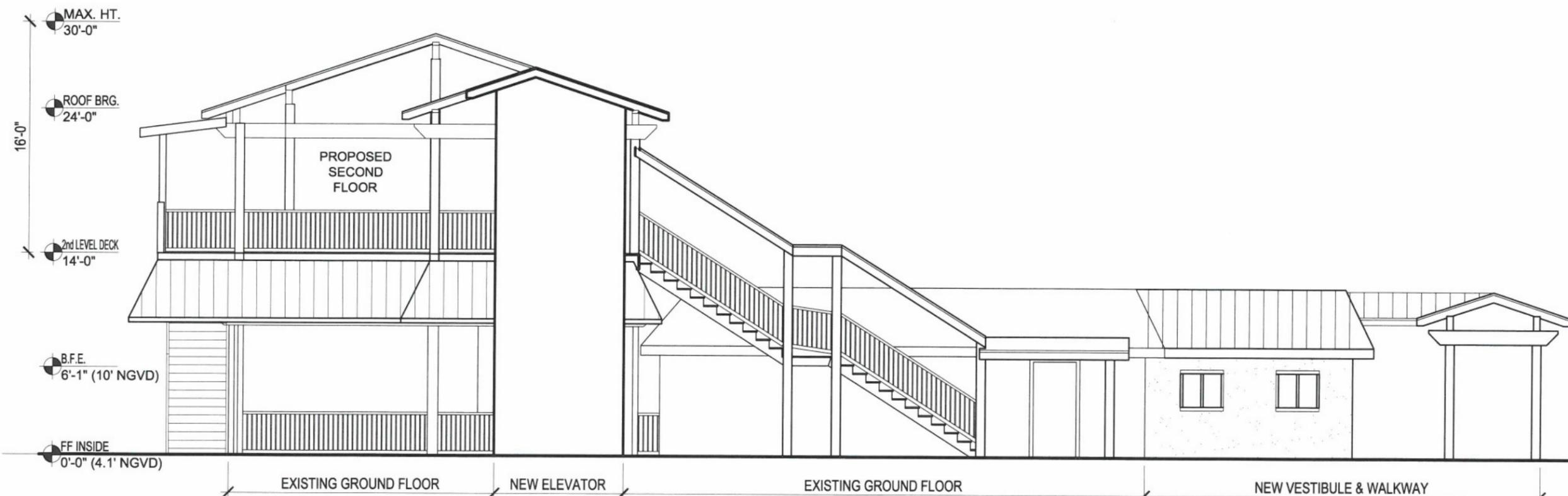
The Schimberg Group Inc
FL #AR92705
40 S. PINEAPPLE AVE., SARASOTA, FL 34236
Tel: 941.894.6888 Fax: 941.894.6889
Email: info@tsg-fl.com



Barron Schimberg
AR92705
Date: 8/31/13



(VIEW FROM LOIS AVENUE) **WEST ELEVATION** 02
SCALE: 1/8" = 1'-0"



(VIEW FROM MOORE'S) **EAST ELEVATION** 01
SCALE: 1/8" = 1'-0"

05.31.13	Special Exception Application
Date:	Description of ISSUE:
Proj. No. / Name	
c1317 / Mar Vista	
Drawn	Checked
TAA	BSS

Sheet Name
EXTERIOR ELEVATIONS
Sheet Number
A-3.0

Project Name:

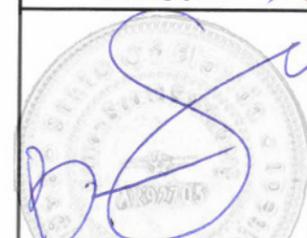


PHASE-III RENOVATION & ADDITION

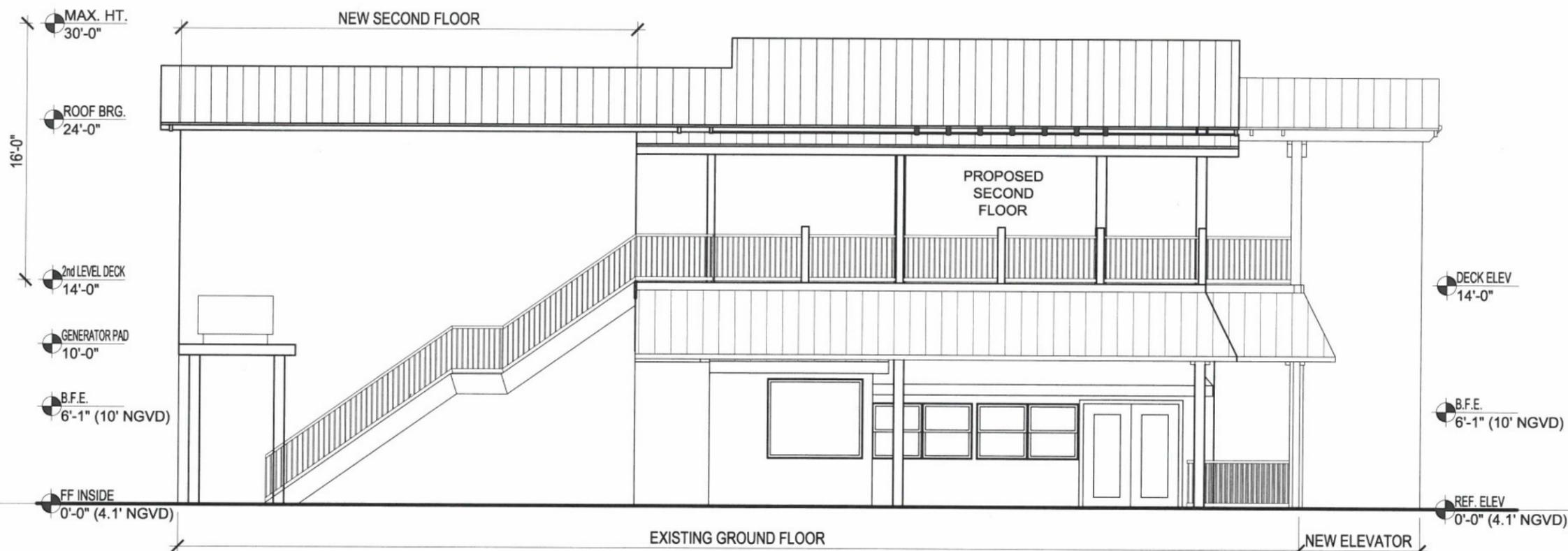
760 Broadway Street N.
Longboat Key, FL 34228



The Schimberg Group Inc
FL #AR92705
40 S. PINEAPPLE AVE., SARASOTA, FL 34236
Tel: 941.894.6888 Fax: 941.894.6889
Email: info@tsg-fl.com



Barron Schimberg
AR92705
Date: 5/31/13



(VIEW FROM BAY WATERFRONT) SOUTH ELEVATION

SCALE: 1/8" = 1'-0"

02



(VIEW FROM BROADWAY STREET) NORTH ELEVATION

SCALE: 1/8" = 1'-0"

01

05.31.13 Special Exception Application

Date: Description of ISSUE:

Proj. No. / Name
c1317 / Mar Vista

NORTH	Drawn	Checked
	TAA	BSS

Sheet Name

EXTERIOR ELEVATIONS

Sheet Number

A-4.0

Green Buttonwood
(Conocarpus erectus)

Green Buttonwood
(Conocarpus erectus)

Jamaican Dogwood
(Piscidia piscapula)

2011
Replaced removed exotic species with these that are native to this location

Gumbo-limbo
(Bursera simaruba)

2009
regraded parking lot to improve stormwater drainage to a low point at property perimeter and installed a french drain under grade to distribute the runoff & maximize percolation

EXISTING
BUILDING
FRAME
"MARVISTA PARG"

2010

Constructed a swale to capture incoming seaweed on the rising floodwaters of severe storms, then populated it with 100% native bayshore species

Overall height of the Green Buttonwoods in all buffer areas shall be 14'-16' on day of installation.

Sabal palms shall be 14'-18' overall height on the day of installation.



Sabal Palm



Live Oak



Seagrape



Green Buttonwood



White Indigoberry



Varnish Leaf



Coontie



Cordgrass



Wild Allamanda



Native Morning-glory

MAR VISTA DECK LANDSCAPE SCREEN PLAN

Scale: 1in = 30 ft - 0 in • May 28, 2013

Design: Michael Miller • mcm@perfectisland.us • tel:941.778.1200 or 779.6097



MAR VISTA DECK LANDSCAPE SCREEN ELEVATION

Scale: 1in = 10 ft - 0 in • May 28, 2013

Design: Michael Miller • mcm@perfectisland.us • tel: 941.778.1200 or 779.6097

SITE PLAN AMENDEMENT

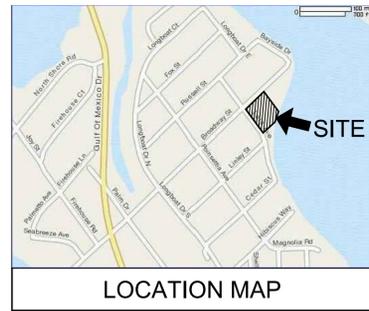
FOR

Mar Vista Restaurant Renovation

Town of Longboat Key, Florida

SECTION 15, TOWNSHIP 35S, RANGE 16E

MANATEE COUNTY, FLORIDA



SHEET INDEX

SHT. NO.	CONTENTS
0	COVER SHEET
1	EXISTING CONDITIONS PLAN W/ AERIAL OVERLAY
2	SITE PLAN
3	LANDSCAPE, BUFFER & SCREENING PLAN
4	STORMWATER, SOIL EROSION & SEDIMENTATION PLAN
ESL-1	LIGHTING PLAN
ESL-2	PROPOSED FIXTURE SECTIONS

DESCRIPTION:

(ORB 1288, PAGE 3343)

THE SOUTHWEST 1/2 OF LOT 4, LOTS 5, 6, 7 AND 8, BLOCK 1, LONGBEACH SUBDIVISION, AS RECORDED IN PLAT BOOK 1, PAGE 306, OF THE PUBLIC RECORDS OF MANATEE COUNTY, FLORIDA, AND THAT PORTION OF BAYSIDE DRIVE LYING EASTERLY OF SAID LOT 8, AND THE SAID SOUTHWEST 1/2 OF LOT 4, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGIN AT THE NORTHWESTERMOST CORNER OF SAID LOT 7, AND RUN N50°00'00"E, ALONG THE NORTHWEST LINE OF SAID BLOCK 1, A DISTANCE OF 174.63 FEET, THENCE S39°50'42"E, ALONG THE NORTHEAST LINE OF SAID SOUTHWEST 1/2 OF LOT 4, A DISTANCE OF 184.8 FEET, MORE OR LESS, TO THE MEAN HIGH WATER LINE OF SARASOTA BAY, THENCE MEANDERING ALONG SAID MEAN HIGH WATER LINE IN SOUTHERLY DIRECTION, A DISTANCE OF 144 FEET, MORE OR LESS, TO INTERSECT THE NORTHEASTERLY EXTENSION OF THE NORTHWEST RIGHT-OF-WAY LINE OF LINLEY STREET, THENCE S50°00'00"W, ALONG SAID NORTHEASTERLY EXTENSION, A DISTANCE OF 55 FEET, MORE OR LESS, TO THE SOUTHEASTERLY EXTENSION OF THE NORTHEAST RIGHT-OF-WAY LINE OF LOIS STREET, THENCE N39°46'54"W, ALONG SAID SOUTHEASTERLY EXTENSION AND SAID NORTHEAST RIGHT-OF-WAY LINE, A DISTANCE OF 256.70 FEET TO THE POINT OF BEGINNING. LYING AND BEING IN SECTION 15, TOWNSHIP 35 SOUTH, RANGE 16 EAST, MANATEE COUNTY, FLORIDA.

NOTE:
EXISTING INFORMATION TAKEN FROM A SURVEY
PREPARED BY LEO MILLS & ASSOCIATES, INC.
AND UPDATED ON 8-29-2012

DESIGN TEAM:

APPLICANT

Mar Vista Pub, Inc.
660 Broadway Street
Longboat Key, FL 34228
P.O. BOX 1478
Anna Maria, FL 34216
(941) 779-1696

ARCHITECT

The Schimberg Group Inc.
40 S. Pineapple Ave., Ste. 101
Sarasota, FL 34236
(941) 894-6888

SURVEYOR

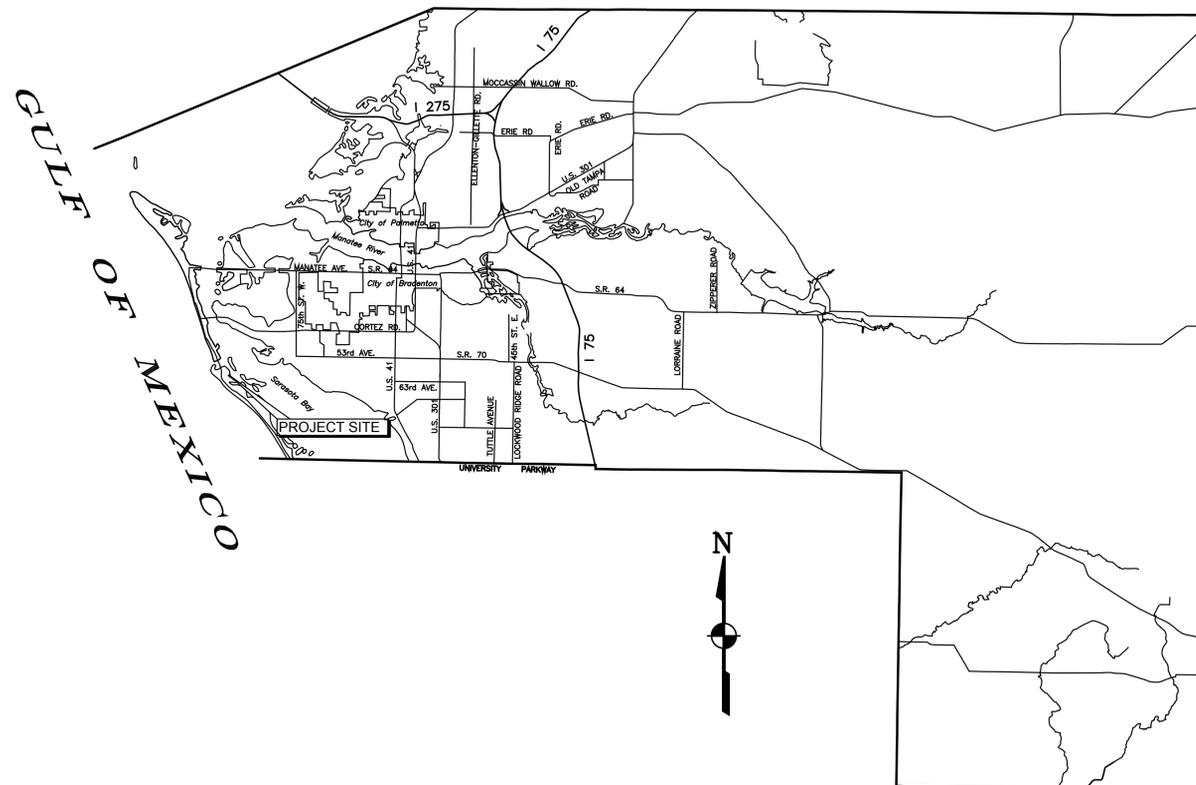
Leo Mills & Associates, Inc.
620 8th Avenue West
Palmetto, FL 34221
(941) 722-2460

LIGHTING ENGINEER

Stewart Engineering Consultants
1859 Northgate Boulevard
Sarasota, FL 34234
(941) 351-9996

STRUCTURAL ENGINEER

SEGO & SEGO
113 Los Cedros Dr.
Anna Maria, FL 34216
(941) 778-8204



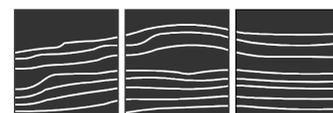
VICINITY MAP

JULY 2012

REVISED SEPTEMBER 2012

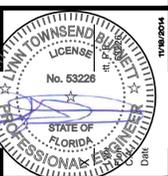
REVISED MAY 2013

REVISED NOVEMBER 2014

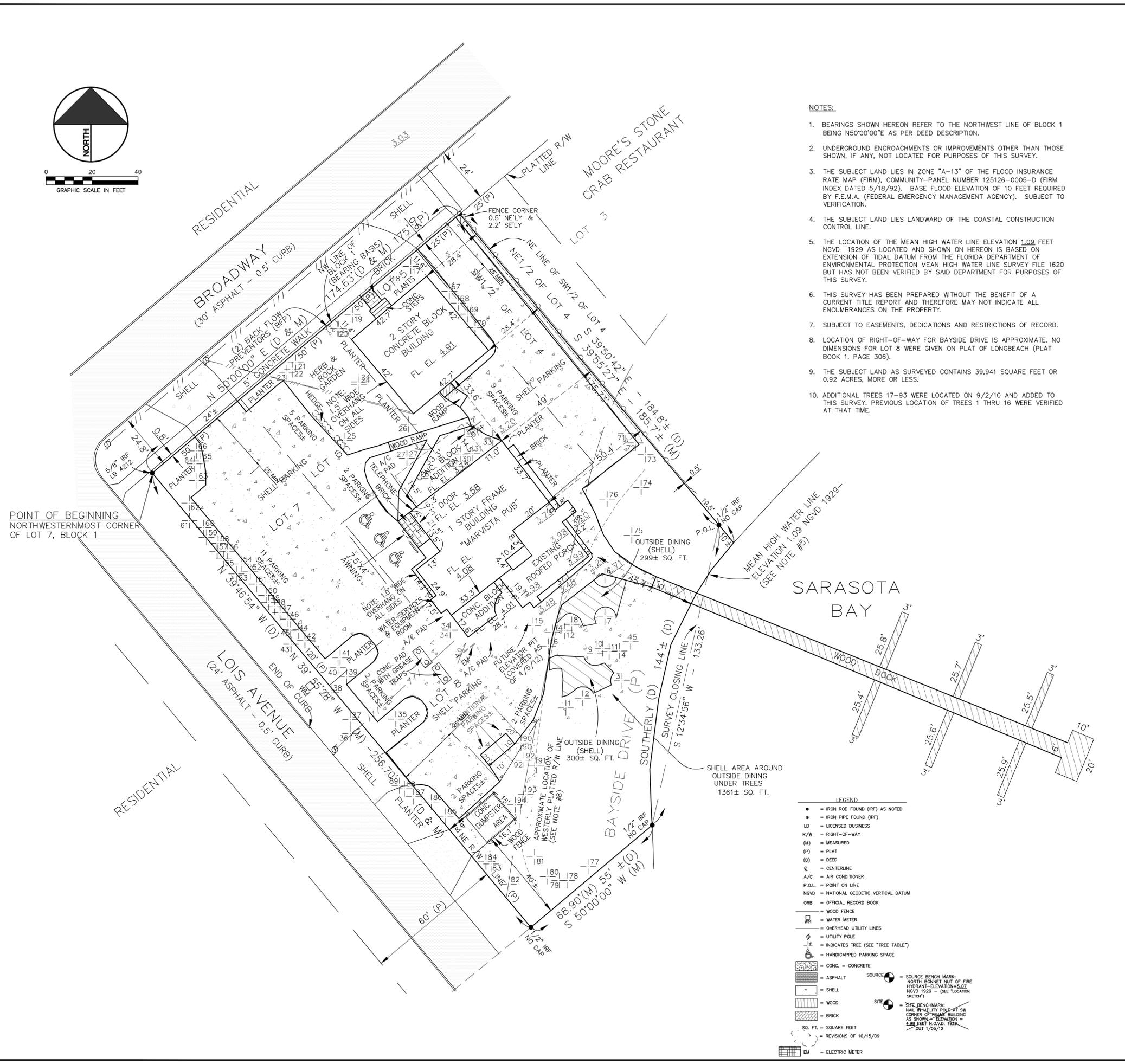
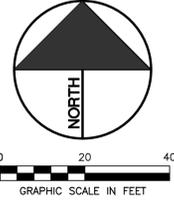


LTA Engineers, LLC

2004 53rd Avenue East, Bradenton, FL 34203
Phone 941.756.9100
Fax 941.756.9119



0



- NOTES:**
- BEARINGS SHOWN HEREON REFER TO THE NORTHWEST LINE OF BLOCK 1 BEING N50°00'00"E AS PER DEED DESCRIPTION.
 - UNDERGROUND ENCROACHMENTS OR IMPROVEMENTS OTHER THAN THOSE SHOWN, IF ANY, NOT LOCATED FOR PURPOSES OF THIS SURVEY.
 - THE SUBJECT LAND LIES IN ZONE "A-13" OF THE FLOOD INSURANCE RATE MAP (FIRM), COMMUNITY-PANEL NUMBER 125126-0005-D (FIRM INDEX DATED 5/18/92). BASE FLOOD ELEVATION OF 10 FEET REQUIRED BY F.E.M.A. (FEDERAL EMERGENCY MANAGEMENT AGENCY). SUBJECT TO VERIFICATION.
 - THE SUBJECT LAND LIES LANDWARD OF THE COASTAL CONSTRUCTION CONTROL LINE.
 - THE LOCATION OF THE MEAN HIGH WATER LINE ELEVATION 1.09 FEET NGVD 1929 AS LOCATED AND SHOWN ON HEREON IS BASED ON EXTENSION OF TIDAL DATUM FROM THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION MEAN HIGH WATER LINE SURVEY FILE 1620 BUT HAS NOT BEEN VERIFIED BY SAID DEPARTMENT FOR PURPOSES OF THIS SURVEY.
 - THIS SURVEY HAS BEEN PREPARED WITHOUT THE BENEFIT OF A CURRENT TITLE REPORT AND THEREFORE MAY NOT INDICATE ALL ENCUMBRANCES ON THE PROPERTY.
 - SUBJECT TO EASEMENTS, DEDICATIONS AND RESTRICTIONS OF RECORD.
 - LOCATION OF RIGHT-OF-WAY FOR BAYSIDE DRIVE IS APPROXIMATE. NO DIMENSIONS FOR LOT 8 WERE GIVEN ON PLAT OF LONGBEACH (PLAT BOOK 1, PAGE 306).
 - THE SUBJECT LAND AS SURVEYED CONTAINS 39,941 SQUARE FEET OR 0.92 ACRES, MORE OR LESS.
 - ADDITIONAL TREES 17-93 WERE LOCATED ON 9/2/10 AND ADDED TO THIS SURVEY. PREVIOUS LOCATION OF TREES 1 THRU 16 WERE VERIFIED AT THAT TIME.

TREE TABLE			
TREE #	TYPE	DIAMETER±	HEIGHT±
1	BUTTONWOOD	18"	35'±
2	BUTTONWOOD	24"	30'±
3	CABBAGE PALM	15"	15'±
4	BUTTONWOOD	24"	25'±
5	CABBAGE PALM (DEAD)	15"	20'±
6	BUTTONWOOD	20"	25'±
7	BUTTONWOOD	20"	25'±
8	BUTTONWOOD	20"	25'±
9	CABBAGE PALM	12"	20'±
10	CABBAGE PALM	12"	20'±
11	CABBAGE PALM	12"	20'±
12	BUTTONWOOD	18"	20'±
13	REMOVED		
14	FIGUS	6"	12'±
15	FIGUS	8" BASE	16"±
16	FIGUS	6"	20'±
17	CABBAGE PALM	12"	25'±
18	ORNAMENTAL PALM	8"	15'±
19	ORNAMENTAL PALM	8"	15'±
20	CABBAGE PALM	12"	15'±
21	CABBAGE PALM	12"	15'±
22	ORNAMENTAL PALM	8"	15'±
23	CABBAGE PALM	12"	25'±
24	CABBAGE PALM	10"	25'±
25	DATE PALM	6"	8'±
26	DATE PALM	14"	30'±
27	ORNAMENTAL PALM	20"	30'±
28	FIGUS	36"	45'±
29	CABBAGE PALM	14"	20'±
30	CABBAGE PALM	14"	20'±
31	CABBAGE PALM	14"	20'±
32	CABBAGE PALM	12"	25'±
33	UMBRELLA TREE	4" - 8"	25'±
34	FIGUS	4" - 6"	12'±
35	CEDAR CLUSTER (5)	ALL 16"	30'±
36	BANYAN	18"	35'±
37	SEAGRAPE CLUSTER	4" - 6"	15'±
38	CABBAGE PALM	10"	15'±
39	AUSTRALIAN PINE	12"	30'±
40	CABBAGE PALM	6"	15'±
41	CEDAR CLUSTER (5)	6" - 14"	35'±
42	CABBAGE PALM	10"	15'±
43	CABBAGE PALM	12"	15'±
44	CABBAGE PALM	12"	12'±
45	CABBAGE PALM	14"	20'±
46	CABBAGE PALM	8"	10'±
47	CABBAGE PALM	10"	15'±
48	CABBAGE PALM	12"	12'±
49	CABBAGE PALM	12"	12'±
50	CABBAGE PALM	10"	20'±
51	CABBAGE PALM	10"	10'±
52	CABBAGE PALM	12"	15'±
53	CABBAGE PALM	12"	20'±
54	CABBAGE PALM	12"	15'±
55	CABBAGE PALM	12"	20'±
56	CABBAGE PALM	12"	12'±
57	CABBAGE PALM	12"	15'±
58	CABBAGE PALM	12"	15'±
59	CABBAGE PALM	12"	12'±
60	CABBAGE PALM	12"	20'±
61	CABBAGE PALM	10"	15'±
62	CABBAGE PALM	8"	12'±
63	CABBAGE PALM	12"	10'±
64	CABBAGE PALM	12"	12'±
65	CABBAGE PALM	12"	12'±
66	CABBAGE PALM	10"	10'±
67	CABBAGE PALM	8"	10'±
68	CABBAGE PALM	16"	15'±
69	CABBAGE PALM	12"	18'±
70	CABBAGE PALM	10"	12'±
71	CABBAGE PALM	12"	12'±
72	CABBAGE PALM	10"	15'±
73	CABBAGE PALM	14"	12'±
74	COCONUT PALM	8"	20'±
75	COCONUT PALM	8"	15'±
76	COCONUT PALM	10"	20'±
77	CABBAGE PALM	14"	15'±
78	CABBAGE PALM	12"	15'±
79	CABBAGE PALM	8"	12'±
80	CABBAGE PALM	10"	10'±
81	CABBAGE PALM	12"	10'±
82	SEAGRAPE CLUSTER	4" - 6"	12'±
83	CEDAR	14"	25'±
84	CEDAR	14"	20'±
85	BANYAN	40"	15'±
86	CEDAR	24"	30'±
87	CEDAR	12"	25'±
88	CEDAR	10"	25'±
89	CEDAR	10"	25'±
90	CEDAR	10"	25'±
91	SEAGRAPE CLUSTER	6" - 8"	30'±
92	CABBAGE PALM	12"	20'±
93	CABBAGE PALM	14"	15'±
94	CABBAGE PALM	10"	20'±

- LEGEND**
- = IRON ROD FOUND (RF) AS NOTED
 - = IRON PIPE FOUND (PF)
 - LB = LICENSED BUSINESS
 - R/W = RIGHT-OF-WAY
 - (M) = MEASURED
 - (P) = PLAT
 - (D) = DEED
 - E = CENTERLINE
 - A/C = AIR CONDITIONER
 - P.O.L. = POINT ON LINE
 - NGVD = NATIONAL GEODETIC VERTICAL DATUM
 - ORB = OFFICIAL RECORD BOOK
 - = WOOD FENCE
 - = WATER METER
 - = OVERHEAD UTILITY LINES
 - = UTILITY POLE
 - = INDICATES TREE (SEE "TREE TABLE")
 - = HANDICAPPED PARKING SPACE
 - = CONC. = CONCRETE
 - = ASPHALT
 - = SHELL
 - = WOOD
 - = BRICK
 - SQ. FT. = SQUARE FEET
 - = REVISIONS OF 10/15/09
 - EM = ELECTRIC METER
 - SOURCE BENCH MARK: NORTH BENCHMARK OF FIRE HYDRANT - ELEVATION = 5.02 NGVD 1929 - (SEE "LOCATION SKETCH")
 - SITE BENCHMARK: NAIL IN UTILITY POLE AT SW CORNER OF FRAME BUILDING AS SHOWN - ELEVATION = 4.88 FEET NGVD 1929 - OUT 1/05/12

- LEGEND**
- = EXISTING TREES
 - = EXISTING CONCRETE
 - = EXISTING SHELL
 - = EXISTING FACILITY TO BE REMOVED
 - = EXISTING TREES, SHRUBS AND GROUND COVER

REMOVED 1/05/12
 RE-LOCATED 1/05/12
 RE-LOCATED 1/05/12
 RE-LOCATED 1/05/12
 RE-LOCATED 1/05/12

CADD File: MAR VISTA-SITE PLAN 2010
 Date: 02/10
 Scale: SEE SCALE
 Design By: KAT
 Drawn By: KAT
 Checked By: LTB
 Project No.: 4720-01-01

1922 53rd Avenue East
 Bradenton, FL 34203
 Phone 941 756.9100
 Fax 941 756.9119

LTA ENGINEERS, LLC
 Civil Engineers & Land Planners

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NO.	REVISION	DATE	BY
1	REVISED PER STATE COMMENTS	7/20/10	OS
2	REVISED PER STATE COMMENTS	9/10/10	OS
3	UPDATED SURVEY AS OF 8-29-12	8/29/2012	LB
4	REVISED PER TOWN COMMENTS	3/20/13	LB

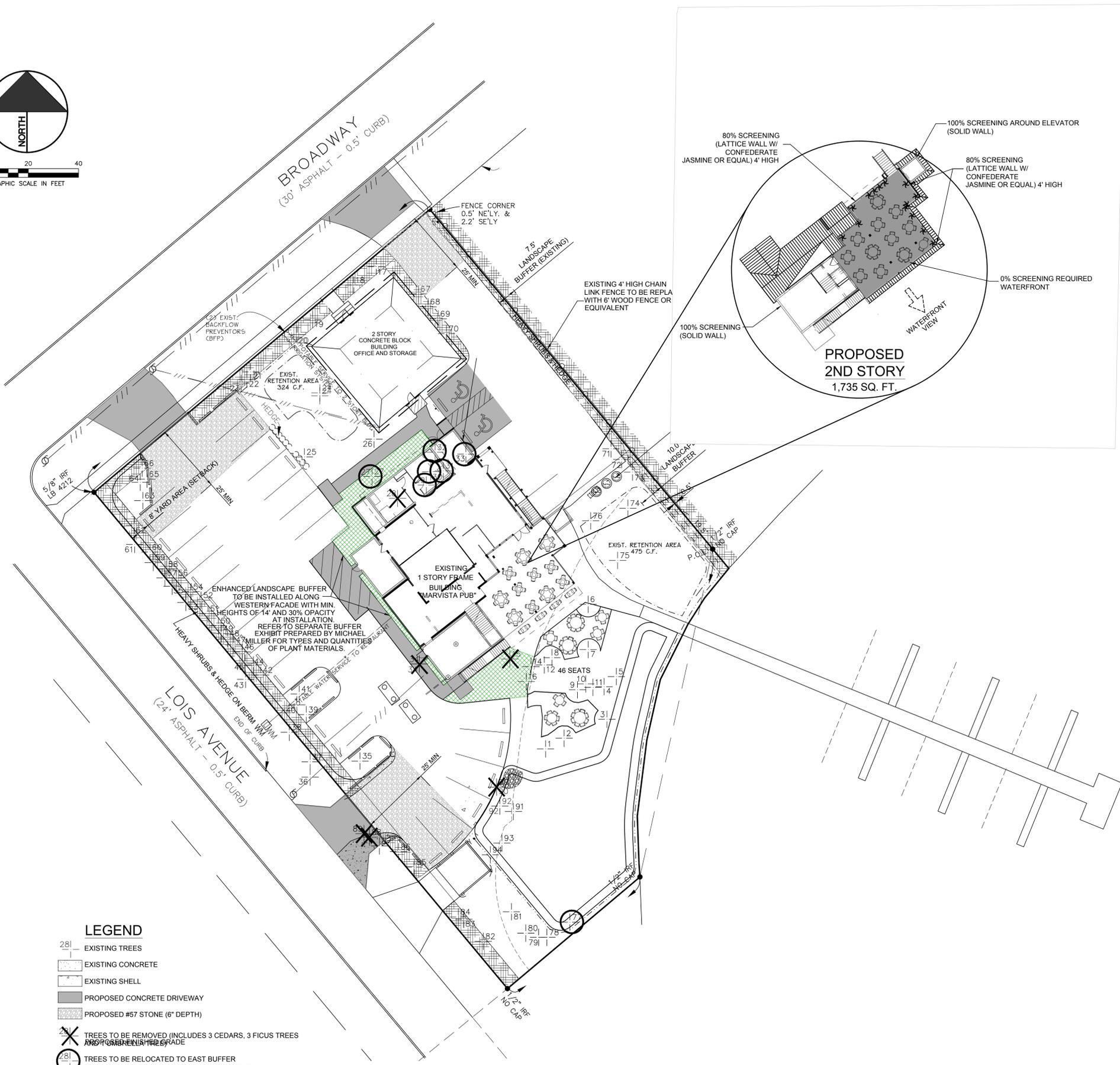
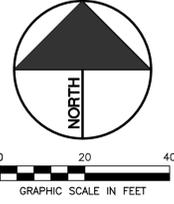
MAR VISTA RESTAURANT RENOVATION
Town of Longboat Key, FL
 Sec. 15, Twp. 35 S., Rge. 16 E. Manatee County, Florida

EXISTING CONDITIONS PLAN W/ AERIAL OVERLAY

STATE OF FLORIDA
 PROFESSIONAL ENGINEER
 License No. 53226
 LEO MILLS & ASSOCIATES, INC.

NOTE: EXISTING INFORMATION TAKEN FROM A SURVEY PREPARED BY LEO MILLS & ASSOCIATES, INC. UPDATED 8-29-12

OF: 4



- LEGEND**
- 281 EXISTING TREES
 - EXISTING CONCRETE
 - EXISTING SHELL
 - PROPOSED CONCRETE DRIVEWAY
 - PROPOSED #57 STONE (6" DEPTH)
 - TREES TO BE REMOVED (INCLUDES 3 CEDARS, 3 FICUS TREES AND 7 ORNAMENTAL PALMS)
 - TREES TO BE RELOCATED TO EAST BUFFER (INCLUDES 5 CABBAGE PALMS AND 1 ORNAMENTAL PALM)

TREE TABLE				
TREE #	TYPE	DIAMETER±	HEIGHT±	LIMB SPAN±
1	BUTTONWOOD	18"	35±	50±
2	BUTTONWOOD	24"	30±	50±
3	CABBAGE PALM	15"	15±	10±
4	BUTTONWOOD	24"	25±	60±
5	CABBAGE PALM (DEAD)	15"	20±	10±
6	BUTTONWOOD	20"	25±	30±
7	BUTTONWOOD	20"	25±	50±
8	BUTTONWOOD	20"	25±	50±
9	CABBAGE PALM	12"	20±	10±
10	CABBAGE PALM	12"	20±	10±
11	CABBAGE PALM	12"	20±	10±
12	BUTTONWOOD	18"	20±	40±
13	REMOVED			
14	FICUS	6"	12±	10±
15	FICUS	8" BASE	15±	12±
16	FICUS	6"	20±	12±
17	CABBAGE PALM	12"	25±	10±
18	ORNAMENTAL PALM	8"	15±	12±
19	ORNAMENTAL PALM	8"	15±	12±
20	CABBAGE PALM	12"	15±	12±
21	CABBAGE PALM	12"	15±	12±
22	ORNAMENTAL PALM	8"	15±	24±
23	CABBAGE PALM	14"	25±	12±
24	CABBAGE PALM	10"	25±	12±
25	DATE PALM	8"	8±	14±
26	DATE PALM	14"	30±	24±
27	ORNAMENTAL PALM	20"	30±	24±
28	FICUS	36"	45±	60±
29	CABBAGE PALM	14"	20±	14±
30	CABBAGE PALM	14"	20±	14±
31	CABBAGE PALM	14"	20±	14±
32	CABBAGE PALM	12"	25±	14±
33	UMBRELLA TREE	4"-6"	25±	24±
34	FICUS	4"-6"	12±	20±
35	CEDAR CLUSTER (5)	ALL 16"	30±	30±
36	BANYAN	18"	35±	30±
37	SEAGRAPE CLUSTER	4"-6"	15±	30±
38	CABBAGE PALM	10"	15±	12±
39	AUSTRALIAN PINE	12"	30±	20±
40	CABBAGE PALM	6"	15±	12±
41	CEDAR CLUSTER (5)	6"-14"	35±	30±
42	CABBAGE PALM	10"	15±	12±
43	CABBAGE PALM	10"	15±	12±
44	CABBAGE PALM	12"	12±	12±
45	CABBAGE PALM	14"	20±	14±
46	CABBAGE PALM	8"	10±	12±
47	CABBAGE PALM	10"	15±	14±
48	CABBAGE PALM	12"	12±	14±
49	CABBAGE PALM	12"	12±	12±
50	CABBAGE PALM	10"	20±	14±
51	CABBAGE PALM	10"	10±	12±
52	CABBAGE PALM	12"	15±	16±
53	CABBAGE PALM	12"	20±	14±
54	CABBAGE PALM	12"	15±	14±
55	CABBAGE PALM	12"	20±	14±
56	CABBAGE PALM	12"	12±	14±
57	CABBAGE PALM	12"	15±	14±
58	CABBAGE PALM	12"	15±	14±
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61	CABBAGE PALM	10"	15±	14±
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64	CABBAGE PALM	12"	12±	12±
65	CABBAGE PALM	12"	12±	12±
66	CABBAGE PALM	10"	10±	12±
67	CABBAGE PALM	8"	10±	12±
68	CABBAGE PALM	16"	15±	16±
69	CABBAGE PALM	12"	18±	12±
70	CABBAGE PALM	10"	12±	14±
71	CABBAGE PALM	12"	12±	12±
72	CABBAGE PALM	10"	15±	12±
73	CABBAGE PALM	14"	12±	14±
74	COCONUT PALM	8"	20±	16±
75	COCONUT PALM	8"	15±	16±
76	COCONUT PALM	10"	20±	16±
77	CABBAGE PALM	12"	15±	12±
78	CABBAGE PALM	12"	15±	12±
79	CABBAGE PALM	8"	12±	12±
80	CABBAGE PALM	10"	10±	16±
81	CABBAGE PALM	12"	10±	14±
82	SEAGRAPE CLUSTER	4"-6"	12±	20±
83	CEDAR	14"	25±	24±
84	CEDAR	14"	20±	24±
85	BANYAN	40"	15±	40±
86	CEDAR	24"	30±	30±
87	CEDAR	12"	25±	30±
88	CEDAR	10"	25±	20±
89	CEDAR	10"	25±	20±
90	CEDAR	10"	25±	20±
91	SEAGRAPE CLUSTER	6"-8"	15±	30±
92	CABBAGE PALM	12"	20±	14±
93	CABBAGE PALM	14"	15±	14±
94	CABBAGE PALM	10"	20±	14±

PROPOSED POTTED 'ARECA' PALMS W/ DRIP IRRIGATION TO COMPLY WITH THE OUTDOOR DINING SCREENING ORDINANCE (SEC. 158.136(A)(12)). TO BE PLACED ON THE PERIMETER OF THE UPSTAIRS DINING ROOM.

OPEN SPACE CALC.
 TOTAL OPEN SPACE REQUIRED = 20% MINIMUM
 TOTAL OPEN SPACE PROVIDED = 34.3%

REMOVED 1/05/12
 RE-LOCATED 1/05/12
 RE-LOCATED 1/05/12
 RE-LOCATED 1/05/12
 RE-LOCATED 1/05/12

CADD FILE: MAR VISTA-SITE PLAN 2016
 DATE: 02/10
 SCALE: SEE SCALE
 DESIGN BY: KAT
 DRAWN BY: KAT
 CHECKED BY: LTB
 PROJECT NO.: 4720-01-10

1922 53rd Avenue East
 Bradenton, FL 34203
 Phone 941.756.9100
 Fax 941.756.9119

LTA ENGINEERS, LLC
 Civil Engineers & Land Planners

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NO.	REVISION	DATE	BY
1	REVISED PER STATE COMMENTS	7/26/10	DS
2	REVISED PER STATE COMMENTS	9/10/10	DS
3	REVISED PER STATE COMMENTS	10/14/10	DS
4	REV. FLOOD PLAN FOR JUSTIARS, REV. BUFFER EAST PROPERTY	7/26/12	LB
5	REVISED PER TOWN COMMENTS	2/5/2013	LB
6	ADD BUFFER TO BLDG. FACING LOIS AVE FOR 30% SCREENING	5/20/13	LB
7	REVISED PER TOWN COMMENTS	11/20/14	LB
8	REVISED PER TOWN COMMENTS	11/20/14	LB

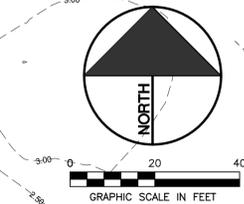
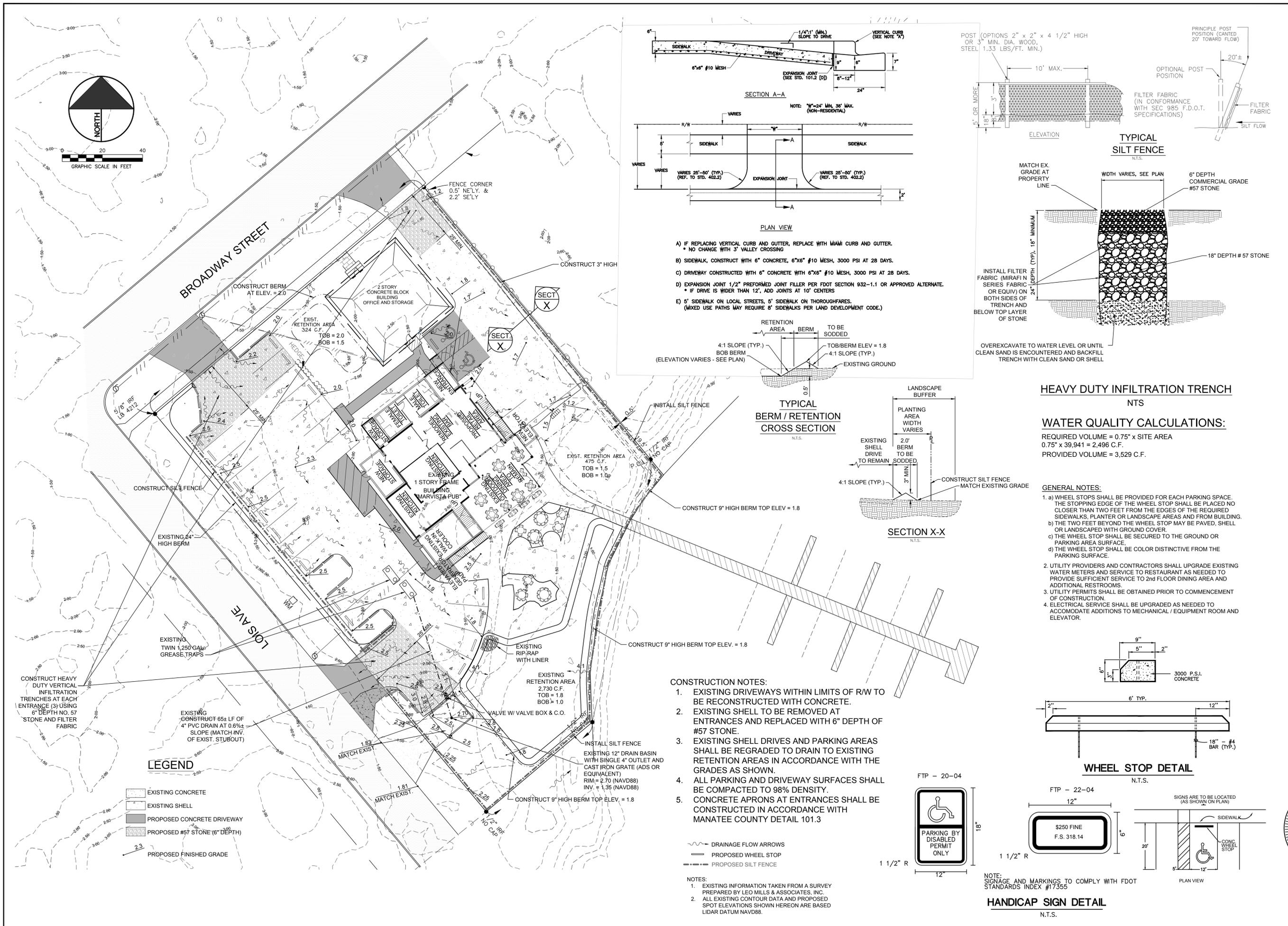
MAR VISTA RESTAURANT RENOVATION
Town of Longboat Key, FL
 Sec. 15, Twp. 35 S., Rge 16 E. Manatee County, Florida

LANDSCAPE, BUFFER & SCREENING PLAN

DATE: _____

NOTE: EXISTING INFORMATION TAKEN FROM A SURVEY PREPARED BY LEO MILLS & ASSOCIATES, INC.

OF: 4

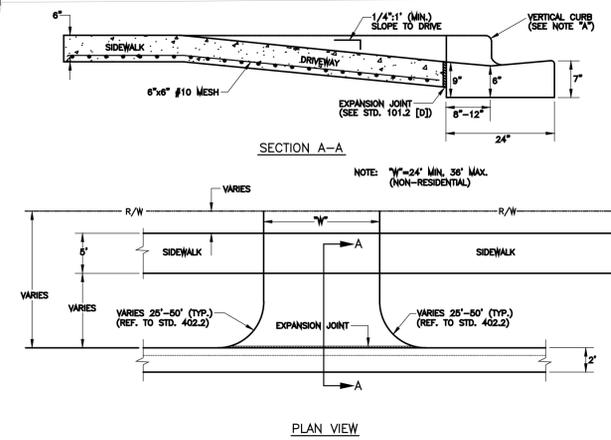


LEGEND

- EXISTING CONCRETE
- EXISTING SHELL
- PROPOSED CONCRETE DRIVEWAY
- PROPOSED #57 STONE (6" DEPTH)
- PROPOSED FINISHED GRADE

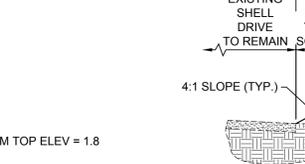
- CONSTRUCTION NOTES:**
- EXISTING DRIVEWAYS WITHIN LIMITS OF R/W TO BE RECONSTRUCTED WITH CONCRETE.
 - EXISTING SHELL TO BE REMOVED AT ENTRANCES AND REPLACED WITH 6" DEPTH OF #57 STONE.
 - EXISTING SHELL DRIVES AND PARKING AREAS SHALL BE REGRADED TO DRAIN TO EXISTING RETENTION AREAS IN ACCORDANCE WITH THE GRADES AS SHOWN.
 - ALL PARKING AND DRIVEWAY SURFACES SHALL BE COMPACTED TO 98% DENSITY.
 - CONCRETE APRONS AT ENTRANCES SHALL BE CONSTRUCTED IN ACCORDANCE WITH MANATEE COUNTY DETAIL 101.3

- NOTES:**
- EXISTING INFORMATION TAKEN FROM A SURVEY PREPARED BY LEO MILLS & ASSOCIATES, INC.
 - ALL EXISTING CONTOUR DATA AND PROPOSED SPOT ELEVATIONS SHOWN HEREON ARE BASED LIDAR DATUM NAVD88.

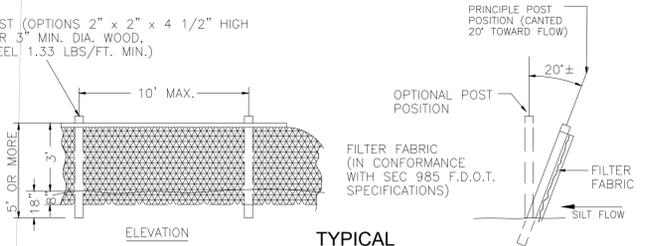


- PLAN VIEW**
- IF REPLACING VERTICAL CURB AND GUTTER, REPLACE WITH MIAMI CURB AND GUTTER. * NO CHANGE WITH 3" VALLEY CROSSING
 - SIDEWALK, CONSTRUCT WITH 6" CONCRETE, 6"x6" #10 MESH, 3000 PSI AT 28 DAYS.
 - DRIVEWAY CONSTRUCTED WITH 6" CONCRETE WITH 6"x6" #10 MESH, 3000 PSI AT 28 DAYS.
 - EXPANSION JOINT 1/2" PREFORMED JOINT FILLER PER FOOT SECTION 932-1.1 OR APPROVED ALTERNATE. * IF DRIVE IS WIDER THAN 12', ADD JOINTS AT 10' CENTERS
 - 5' SIDEWALK ON LOCAL STREETS, 5' SIDEWALK ON THROUGHFARES. (MIXED USE PATHS MAY REQUIRE 8' SIDEWALKS PER LAND DEVELOPMENT CODE.)

TYPICAL BERM / RETENTION CROSS SECTION



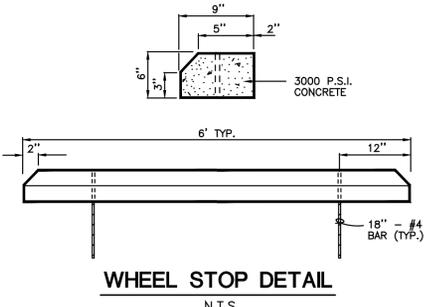
SECTION X-X



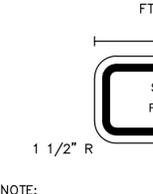
HEAVY DUTY INFILTRATION TRENCH

REQUIRED VOLUME = 0.75" x SITE AREA
 0.75" x 39,941 = 2,496 C.F.
 PROVIDED VOLUME = 3,529 C.F.

- GENERAL NOTES:**
- WHEEL STOPS SHALL BE PROVIDED FOR EACH PARKING SPACE. THE STOPPING EDGE OF THE WHEEL STOP SHALL BE PLACED NO CLOSER THAN TWO FEET FROM THE EDGES OF THE REQUIRED SIDEWALKS, PLANTER OR LANDSCAPE AREAS AND FROM BUILDING.
 - UTILITY PROVIDERS AND CONTRACTORS SHALL UPGRADE EXISTING WATER METERS AND SERVICE TO RESTAURANT AS NEEDED TO PROVIDE SUFFICIENT SERVICE TO 2nd FLOOR DINING AREA AND ADDITIONAL RESTROOMS.
 - UTILITY PERMITS SHALL BE OBTAINED PRIOR TO COMMENCEMENT OF CONSTRUCTION.
 - ELECTRICAL SERVICE SHALL BE UPGRADED AS NEEDED TO ACCOMMODATE ADDITIONS TO MECHANICAL / EQUIPMENT ROOM AND ELEVATOR.



FTP - 20-04



HANDICAP SIGN DETAIL

N.T.S.

CADD FILE: MAR VISTA-SITE PLAN 2014
 DATE: 02/10
 SCALE: SEE SCALE
 Design By: KAT
 Drawn By: KAT
 Checked By: LTB
 Project No.: 47421-01-10

LTA ENGINEERS, LLC
 Civil Engineers & Land Planners

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NO.	DATE	BY	REVISION
1	07/10	DS	REVISED PER STATE COMMENTS
2	09/10	DS	REVISED PER STATE COMMENTS
3	10/14/10	DS	REVISED DUMPSTER PLACEMENTS
4	11/29/11	DS	REVISED PER STATE COMMENTS AND C.O.
5	12/12/11	DS	REV. CROSS SECTION X-X
6	2-26-12	DS	REV. COMPACTED DRIVEWAY AND C.O.
7	8-6-12	DS	REVISED DUMPSTER DRAIN INLET AND INVERT
8	9/20/12	DS	REVISED PER TOWN COMMENTS
9	11/14/12	DS	REV. ELIMINATED 2nd STORY DECK ABOVE OFF. RELOCATE ELEVATOR
10	11/20/14	DS	ADDED CONCRETE AT #57 STONE AT ENTRANCES, ADDED NOTES

MAR VISTA RESTAURANT RENOVATION
 Town of Longboat Key, FL
 Sec. 15, Twp. 35 S., Rge 16 E. Manatee County, Florida
STORMWATER, SOIL EROSION & SEDIMENTATION PLAN

DATE: 11/18/2014

4

OF: 4

Special Exception for Outdoor Dining and Site Plan Amendment for Outdoor Dining

MAR VISTA RESTAURANT

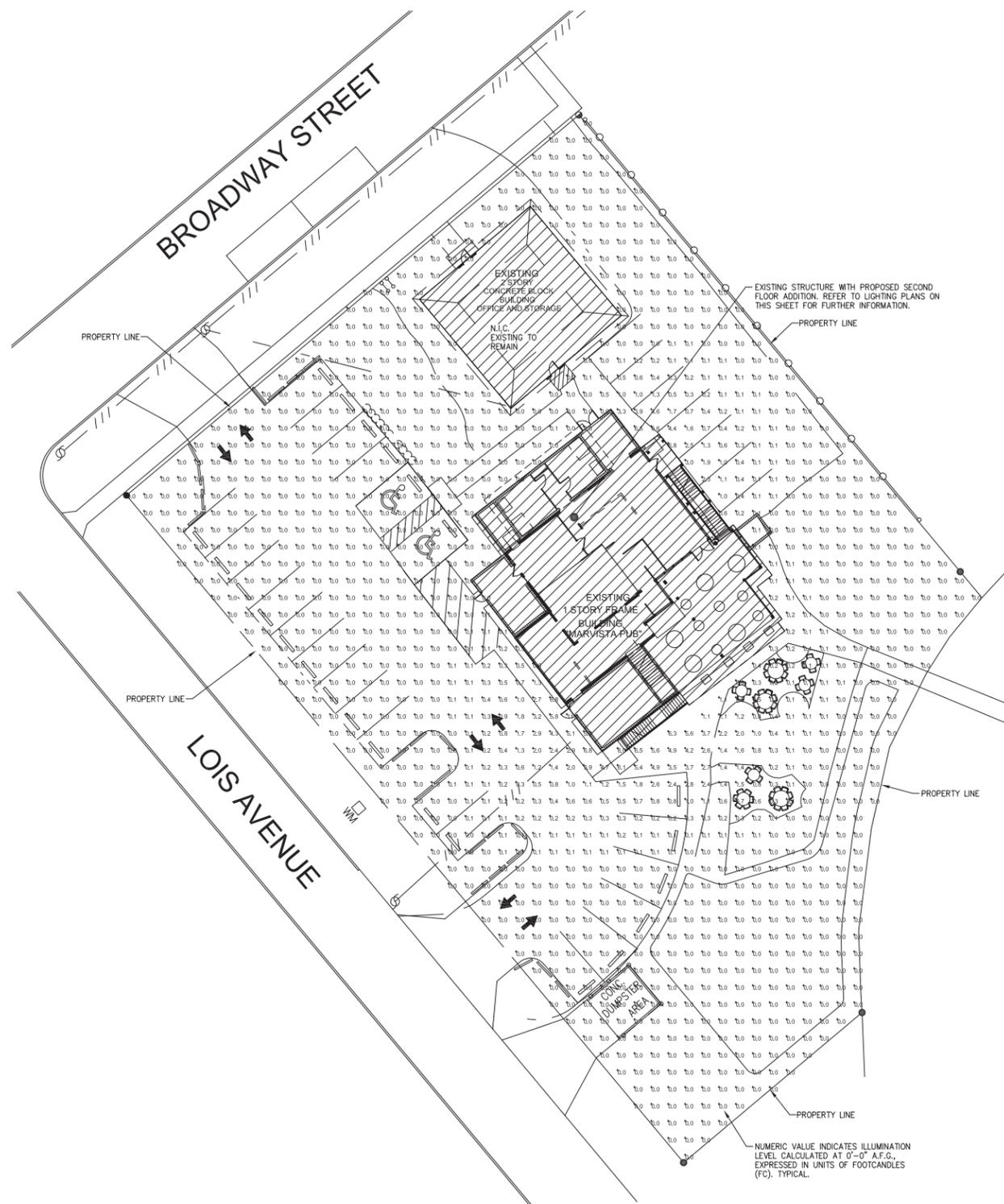
760 BROADWAY STREET
LONGBOAT KEY, FL 34228



Stewart Engineering Consultants, Inc.
1859 Northgate Boulevard, Suite #1
Sarasota, Florida 34234
Phone: (941) 351-9996
FAX: (941) 351-9655
E-Mail: stewartengineering@usa.net
William J. Stewart P.E. 0037457
Robert L. Cave P.E. 0048329

CONTRACTOR TO VERIFY ALL DETAILS, DIMENSIONS, AND FIELD CONDITIONS BEFORE PROCEEDING WITH CONSTRUCTION. WHERE NOT CLEARLY SHOWN OBTAIN EXISTING INFORMATION FROM ENGINEER. DO NOT SCALE DRAWINGS. USE ONLY MOST RECENTLY DATED DRAWINGS. NOTIFY ENGINEER OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK. ENGINEER RECEIVES THE RIGHT TO MAKE CHANGES AS REQUIRED DUE TO JOB CONDITIONS. ENGINEER IS NOT RESPONSIBLE FOR CONSTRUCTION NOT CARRIED OUT IN ACCORDANCE WITH CONSTRUCTION DOCUMENTS. THESE PLANS SHALL NOT BE REPRODUCED OR COPIED IN PART OR WHOLE WITHOUT EXPRESS WRITTEN PERMISSION FROM STEWART ENGINEERING CONSULTANTS, INC. © COPYRIGHT 2010

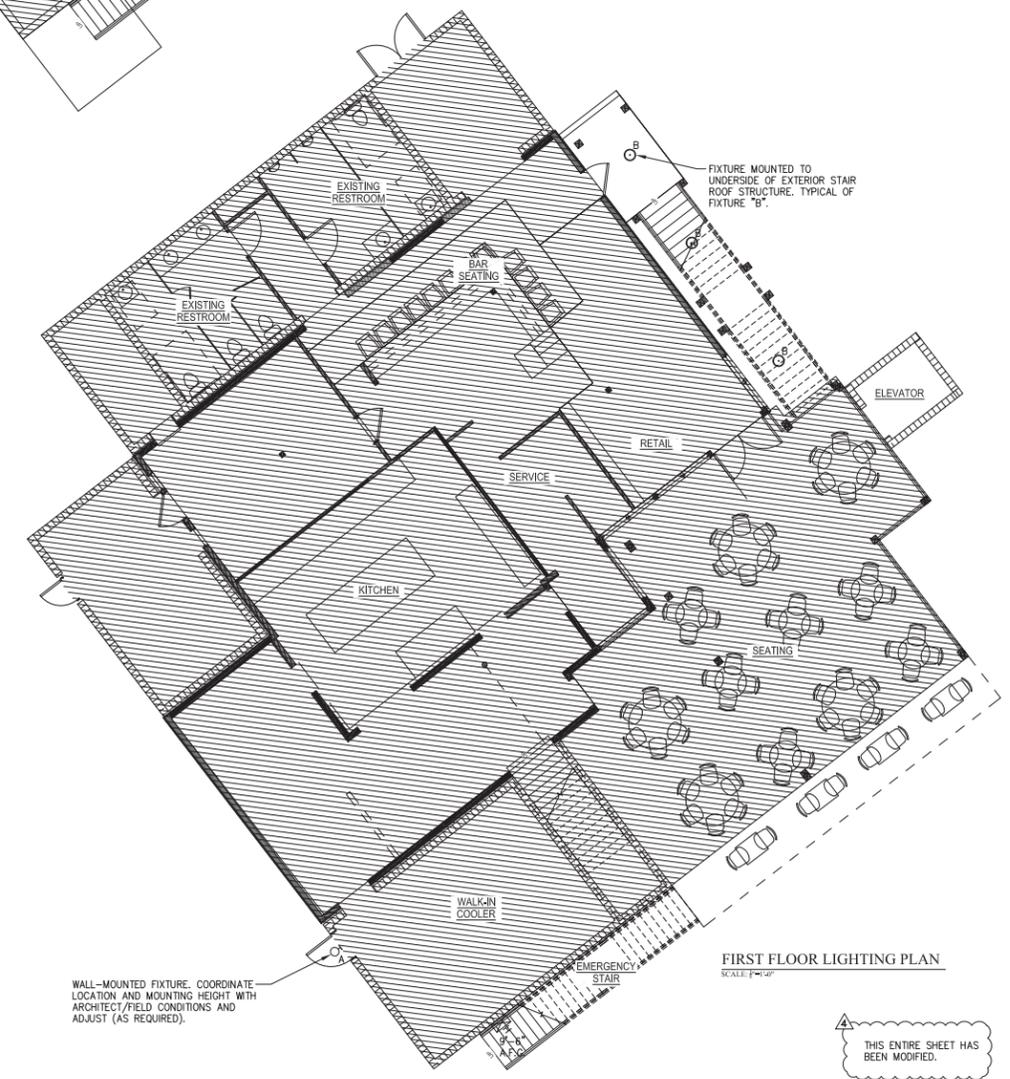
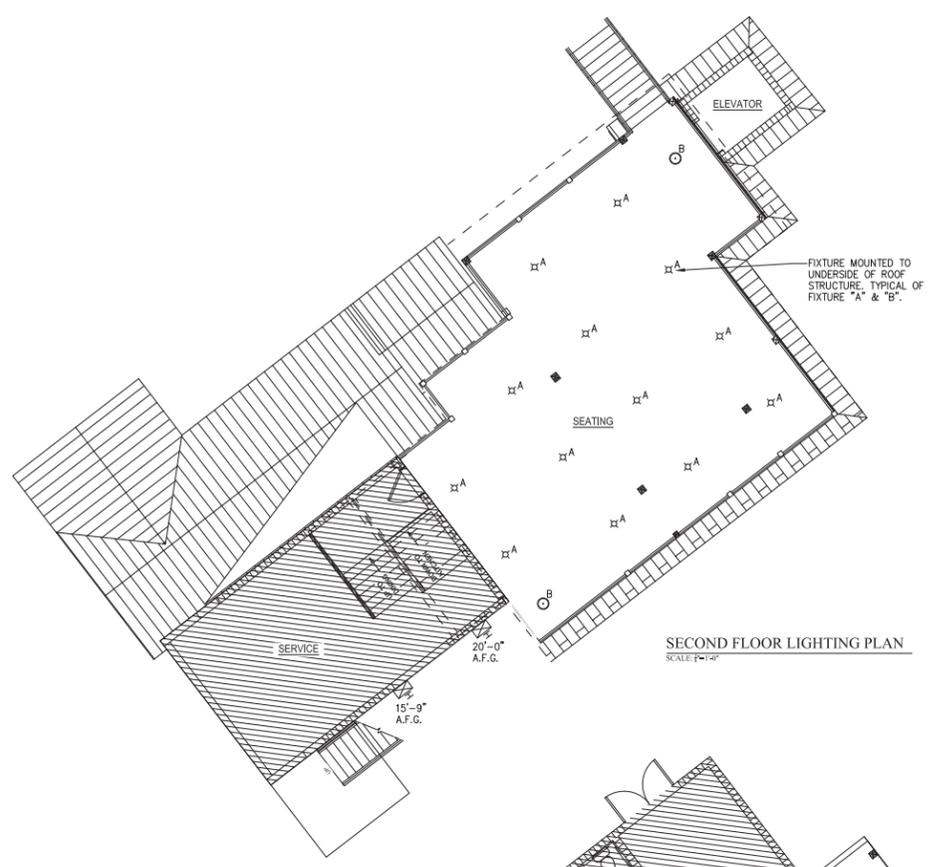
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PHOTOMETRIC STATISTICS						
DESCRIPTION	SYMBOL	AVG	MAX	MIN	MAX/MIN	AVG/MIN
SITE		0.2 FC	18.0 FC	0.0 FC	N/A	N/A
PROPERTY LINE		0.0 FC	0.0 FC	0.0 FC	N/A	N/A

ALL FOOTCANDLE LEVELS CALCULATED AT GRADE.

NORTH
SITE LIGHTING PHOTOMETRIC PLAN
SCALE: 1"=20'-0"



Project Number: 3666
File Name: 3666 ESL-1.dwg
Designed: JMB
Checked: WJS
Date: 07-09-10

Revisions:		
No.	Description	Date
1	FLOOR PLAN REVISION	10-08-12
2	DECK EXP. REVISION	01-02-13
3	DECK EXP. REVISION	02-26-13
4	OWNER REVISION	05-31-13

Drawing Title

LIGHTING PLANS



William J. Stewart
PE 0037457

Sheet Number

ESL-1

Of

2

THIS ENTIRE SHEET HAS BEEN MODIFIED.

Special Exception for Outdoor Dining
and
Site Plan Amendment for
Outdoor Dining

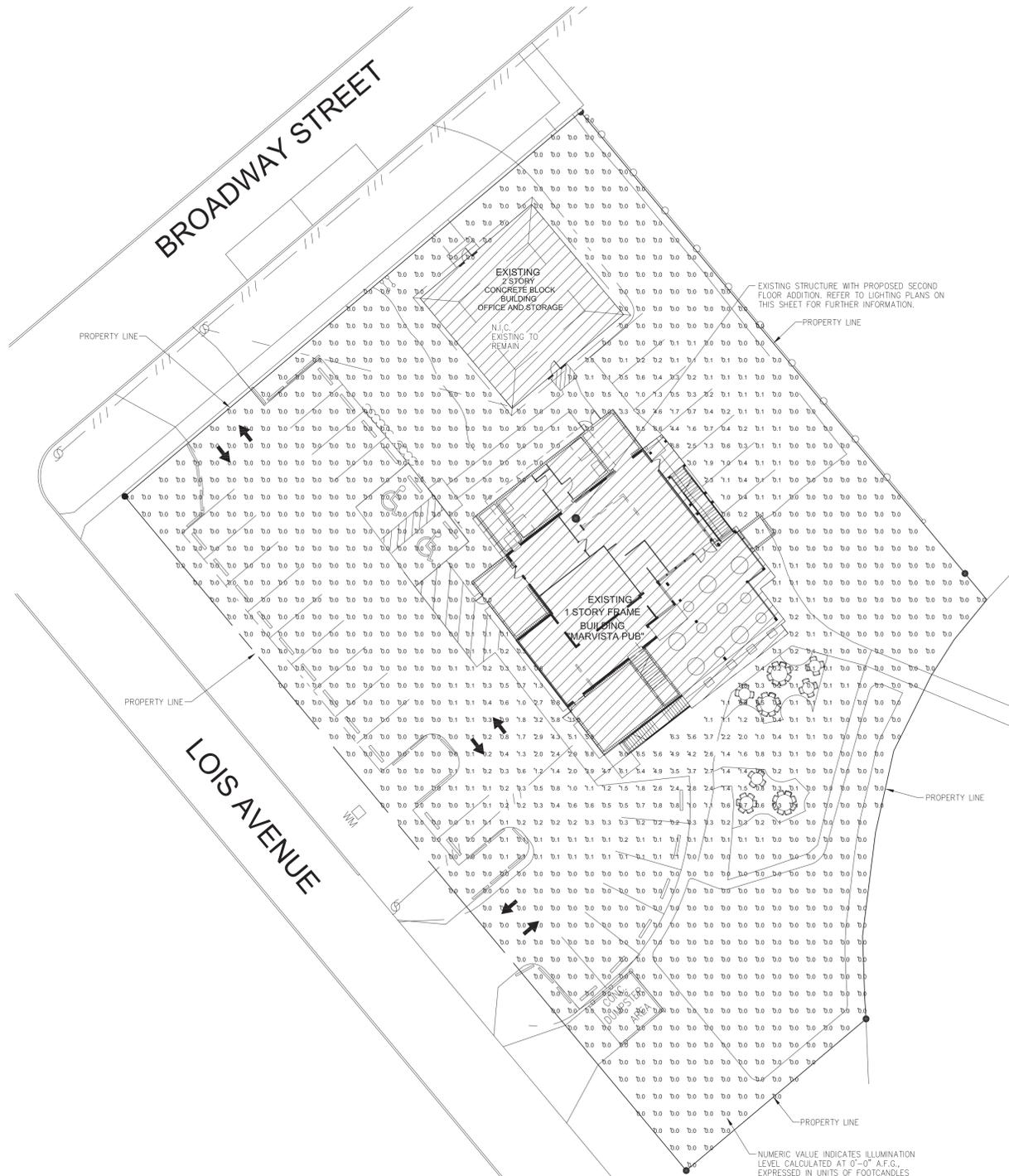
MAR VISTA RESTAURANT

760 BROADWAY STREET
LONGBOAT KEY, FL 34228



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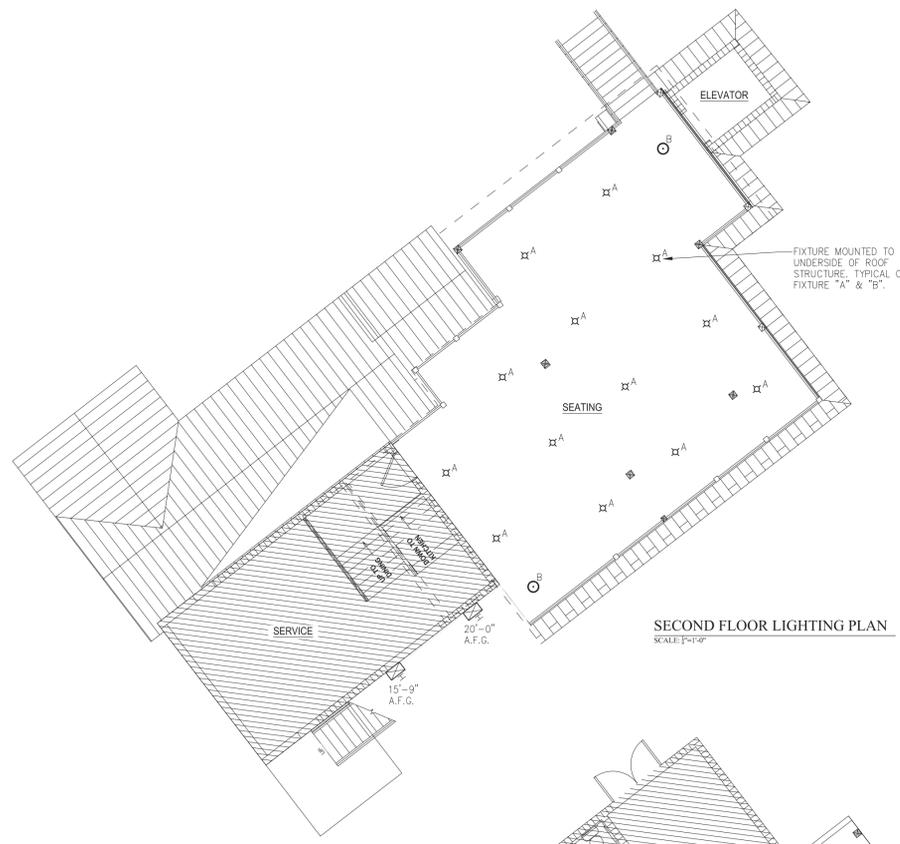
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PHOTOMETRIC STATISTICS						
DESCRIPTION	SYMBOL	AVG	MAX	MIN	MAX/MIN	AVG/MIN
SITE		0.2 FC	18.0 FC	0.0 FC	N/A	N/A
PROPERTY LINE		0.0 FC	0.0 FC	0.0 FC	N/A	N/A

ALL FOOTCANDLE LEVELS CALCULATED AT GRADE.

NORTH
SITE LIGHTING PHOTOMETRIC PLAN
SCALE: 1"=20'-0"



THIS ENTIRE SHEET HAS BEEN MODIFIED.

Project Number: 3666
File Name: 3666 ESL-1.dwg
Designed: JMB
Checked: WJS
Date: 07-09-10

Revisions:

No.	Description	Date
1	FLOOR PLAN REVISION	10-08-12
2	DECK EXP. REVISION	01-02-13
3	DECK EXP. REVISION	02-26-13
4	OWNER REVISION	05-31-13

Drawing Title

LIGHTING PLANS



William J. Stewart
PE 0037457

Sheet Number

ESL-1

DESCRIPTION
Cylinder downlight luminaire with 12" diameter, designed for two triple tube or PL Quad lamps. Optical system incorporates an upper reflector with a four-cell parabolic cross baffle cone that provides a wide distribution with low brightness.

FEATURES

- Luminaire uses a PAR 30 - 75 Watt maximum - or PAR38 lamp - 150 Watt maximum.
- Low brightness spun clear Alzak® aluminum cone, .06" thick with polished radius and continuous self-flange.
- All interior surfaces painted optical matte black to eliminate stray light.
- Formed aluminum housing, .06" thick.
- White polyester powdercoat exterior finish.
- Surface, pendant, or wall bracket mounted.
- UL/CUL listed for damp location.

OPTIONS

- B Black Exterior Finish
- BR Bronze Exterior Finish
- SV Metallic Powdercoat Aluminum
- XX Exterior Finish Color as Specified
- WL Wet Location (Pendant & Surface)

COMPANION LUMINAIRES

Recessed Downlight
KL6150PAR38CFF 1.13
KL675PAR30CFF 1.12

Notes:
Mar Vista - Fixture "A"

HOW TO SPECIFY

Lamp (By Other)	Cone Finish	Mounting	Voltage	Options
KL6 150PAR38	CFF Clear Flat Flange	S Surface Pendant (24" standard)	120	WL
150PAR38	CBF Black Baffle	SW Wall Bracket	120V	Select From Options above info.
75W PAR30	BRF Bronze Flat Flange	HP Hang Straight (Field Cuts)		
75 Watt PAR30 - max.	CBFF Changeable Grid Flange			
	PFIF Forward Flat Flange			
	VPF White Flat Flange			
	WSP 1/2" Stem Glow (Add as prefix)			

Example KL6 150PAR38 CFF S 120

kramer LIGHTING 1200 92nd STREET, STURTEVANT, WISCONSIN 53177
TOLL FREE: 800.236.6800 FAX 262.504.5415 www.kramerlighting.com S.25

SURFACE PAR CYLINDER DOWNLIGHT
6" Diameter
KL6150PAR38CFFS

Wide Distribution
KL6150PAR38CFFS
Lamp: 150 Watt PAR38 Flood
Efficiency: 82.8% S.M. 4
Test No.: TL41285.IES

Narrow Distribution
KL6150PAR38CFFS
Lamp: 150 Watt PAR38 Spot
Efficiency: 72.5% S.M. 2
Test No.: TL41284.IES

CANDELA DISTRIBUTION

LUMINANCE DATA

VERTICAL ANGLE	AVERAGE	VERTICAL ANGLE	AVERAGE
45°	698	45°	0
65°	0	65°	0
75°	0	75°	0
85°	0	85°	0

CONE OF LIGHT

DISTANCE FROM WORKPLANE	FOOTCANDLES	BEAM DIAMETER
6"	118	2.8"
8"	66	3.7"
10"	42	4.6"
12"	29	5.5"
14"	22	6.5"

CO-EFFICIENT OF UTILIZATION

ROOM	80	70	60	50	0
0	0.22	0.22	0.22	0.22	0.22
1	0.29	0.29	0.29	0.29	0.29
2	0.37	0.37	0.37	0.37	0.37
3	0.45	0.45	0.45	0.45	0.45
4	0.51	0.51	0.51	0.51	0.51
5	0.56	0.56	0.56	0.56	0.56
6	0.60	0.60	0.60	0.60	0.60
7	0.63	0.63	0.63	0.63	0.63
8	0.65	0.65	0.65	0.65	0.65
9	0.66	0.66	0.66	0.66	0.66
10	0.67	0.67	0.67	0.67	0.67

kramer LIGHTING 1200 92nd STREET, STURTEVANT, WISCONSIN 53177
TOLL FREE: 800.236.6800 FAX 262.504.5415 www.kramerlighting.com S.25B

SURFACE CROSS BAFFLE COMPACT FLUORESCENT CYLINDER
12" Diameter
KL122X32PLTXBCFFS

DESCRIPTION
Cylinder cross baffle luminaire with 12" diameter, designed for two triple tube or PL Quad lamps. Optical system incorporates an upper reflector with a four-cell parabolic cross baffle cone that provides a wide distribution with low brightness.

FEATURES

- Luminaire uses two triple tube or PL Quad lamps - 32 Watt triple tube maximum.
- Four-cell parabolic cross baffle specular clear low-reflectance finish.
- Low brightness non-reflective spun clear Alzak® aluminum reflector and cone, .06" thick with polished radius and continuous self-flange.
- Precision nickel-plated cone retainers guaranteed to hold cones in proper position.
- 16-gauge steel housing, seam welded, ground, and sand-blasted.
- 120, 277, or 347 volt two-lamp electronic high-power factor ballast.
- White polyester powdercoat exterior finish.
- Surface, pendant, or wall bracket mounted.
- UL/CUL listed for damp location.

OPTIONS

- B Black Exterior Finish
- BR Bronze Exterior Finish
- SV Metallic Powdercoat Aluminum
- XX Exterior Finish Color as Specified
- EM Emergency Battery Pack
- DL Dimming 3 Wire (Lutron Compact SE)
- DM Dimming Ballast (Power Line)

COMPANION LUMINAIRES

Cross Baffle Downlight
KL22X32PLTXBCFF F23
KL22X32PLTXBCFF F22

Notes:
Mar Vista - Fixture "B"

HOW TO SPECIFY

Lamps/Position	Lamp (By Other)	Cross Baffle Type	Cross Baffle/Cone Finish	Mounting	Voltage	Options
KL12 2X	32 Horizontal Mounted	XB 4 Cell Parabolic	CFF Clear Flat Flange	S Surface Pendant (24" standard)	120	WL-EM
	32PLT 32 Watt PL Triple Tube		CBF Bronze Flat Flange	SW Wall Bracket	120V	Select From Options above info.
	250PL 25 Watt PL Quad		CBFF Changeable Grid Flange	HP Hang Straight (Field Cuts)		
	150PL 15 Watt PL Quad		PFIF Forward Flat Flange			
			VPF White Flat Flange			
			WSP 1/2" Stem Glow (Add as prefix)			

Example KL12 2X 32PLT XB CFF S 120

kramer LIGHTING 1200 92nd STREET, STURTEVANT, WISCONSIN 53177
TOLL FREE: 800.236.6800 FAX 262.504.5415 www.kramerlighting.com S.17

SURFACE CROSS BAFFLE COMPACT FLUORESCENT CYLINDER
12" Diameter
KL122X32PLTXBCFFS

KL122X32PLTXBCFFS
Lamp: (2) 32 Watt PLT
Efficiency: 83.7% S.M. 1.3
Test No.: TL18937.IES

CANDELA DISTRIBUTION

LUMINANCE DATA

VERTICAL ANGLE	AVERAGE
45°	2214
65°	12919
65°	13277
75°	17938
85°	30289

CONE OF LIGHT

DISTANCE FROM WORKPLANE	FOOTCANDLES	BEAM DIAMETER
6"	50	7.0"
8"	28	9.3"
10"	18	11.6"
12"	12	14.0"
14"	9	16.3"

CO-EFFICIENT OF UTILIZATION

ROOM	80	70	60	50	0
0	0.43	0.43	0.43	0.43	0.43
1	0.51	0.51	0.51	0.51	0.51
2	0.57	0.57	0.57	0.57	0.57
3	0.62	0.62	0.62	0.62	0.62
4	0.66	0.66	0.66	0.66	0.66
5	0.69	0.69	0.69	0.69	0.69
6	0.71	0.71	0.71	0.71	0.71
7	0.72	0.72	0.72	0.72	0.72
8	0.73	0.73	0.73	0.73	0.73
9	0.73	0.73	0.73	0.73	0.73
10	0.73	0.73	0.73	0.73	0.73

kramer LIGHTING 1200 92nd STREET, STURTEVANT, WISCONSIN 53177
TOLL FREE: 800.236.6800 FAX 262.504.5415 www.kramerlighting.com S.17B

CHLORIDE SYSTEMS

Solaray
Forward Throw Cutoff Luminaire
Type 4 Distribution
Integral 35-Watt Emergency Xenarc® Lamp*

GENERAL DESCRIPTION
Solaray combines an industry recognized outdoor luminaire with a custom fitted emergency lamp. The result is a single fixture for normal and emergency outdoor lighting. Solaray meets the Bay Area requirements.

ILLUMINATION
Normal illumination is provided by one 100-watt, high-pressure sodium lamp or one 100-watt, metal halide lamp, combined with a polished specular aluminum reflector with type 4 distribution. Normally on illumination may be switched or photo-cell controlled. Emergency illumination is accomplished with a 35-watt, instant strike Xenarc® lamp, powered from a remote emergency battery unit (sold separately).

INSTALLATION
Solaray is designed with a pre-mountable wall bracket with integral igniter chamber for easy, hands-free wall positioning and wiring. A built-in bubble level aids in accuracy. A polarized, low-voltage, emergency power connector is supplied with a 10 foot interconnect.

DIMENSIONS

CODE COMPLIANCE
UL listed to UL 924 standards
ETL listed to UL 1598 standards
ETL listed to CSA C22.2 No. 141-02 standards
ETL listed to CSA C22.2 No. 550.0-04 standards
NFPA 101, NEC, BOCA, OSHA and IBC Illumination standards

OPERATING TEMPERATURE RANGE
Wet location: -40°F (-40°C) to 104°F (40°C)

RECOMMENDED EMERGENCY BATTERY UNITS (SOLD SEPARATELY)
Indoor/Outdoor** Recessed Ceiling Mount
CPMSULMDTD
Indoor Surface Mount
TMSFOCTD

WARRANTY (EXCLUDES LAMPS)
Five year warranty

*The Solaray emergency lamp requires a remote 12 VDC power source.
**The CPMSULMDTD may be used outdoors in locations where the product is not directly exposed to the elements.

ORDERING INFORMATION (EXAMPLE: FT1MHMBZ)

FT	1MH	EM	BZ
SERIES	AD LAMP TYPE	EMERGENCY FUNCTION!	HOUSING COLOR
FT - Forward Throw Cutoff Luminaire	1MH - 100-Watt, Metal Halide Lamp	EM - 35-Watt, Instant Strike Xenarc® Lamp	BZ - Bronze

Chloride Systems is a Philips group brand

PHILIPS

Specification Data for Solaray

ILLUMINATION
I.E.S. format photometric data files are available for use with most lighting layout application software.

PHOTOMETRIC DATA*
Metal Halide in AC Mode, 15' AFF

Metal Halide in Emergency Mode, 15' AFF

HPS in AC Mode, 15' AFF

HPS in Emergency Mode, 15' AFF

*The data shown is intended to be used as reference only. Standard reflectors used were 082022. Chloride is not responsible for site specific conditions that may alter the results. ¹Based on a specified minimum of 0.25m beam diameter.

CHLORIDE SYSTEMS 272 West Stag Park Service Road • Burgaw NC 28426
Telephone: (910) 259-1000 • Facsimile: (800) 228-8803
www.chlorideusa.com C1500m 211 IN

Special Exception for Outdoor Dining and Site Plan Amendment for Outdoor Dining

MAR VISTA RESTAURANT

760 BROADWAY STREET
LONGBOAT KEY, FL 34228



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Project Number: 3666
File Name: 3666 ESL-2.dwg
Designed: JMB
Checked: WJS
Date: 07-09-10
Revisions:

No.	Description	Date
1	FLOOR PLAN REVISION	10-08-12

PROPOSED FIXTURE SELECTIONS



07/13
William J. Stewart
PE 0037457

Sheet Number

ESL-2