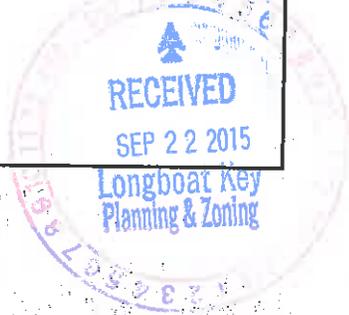




Planning, Zoning & Building Department (941) 316-1966
501 Bay Isles Road
Longboat Key, Florida 34228
Fax Number: (941) 373-7938
Web: <http://www.longboatkey.org>



PETITION FOR SPECIAL EXCEPTION

THE APPLICANT IS REQUIRED TO SUBMIT TWENTY-FIVE (25) COLLATED SETS (ONE BEING AN ORIGINAL) OF THIS APPLICATION, SUPPORTING PLANS AND DOCUMENTS

(I) (We) Tom Leonard 800 BROADWAY LLC of
Name
800 BROADWAY ST LONGBOAT KEY FLORIDA 34228
(Mailing address)

request a Special Exception pursuant to the Ordinances of the Town of Longboat Key.
 This petition concerns Section(s) 158.136 OUTDOOR DINING Paragraph(s) 158.136(C) STRUCTURES OVER WATER
 of the Town of Longboat Key Zoning Ordinance for the reason that it is a request for a special exception, as provided in the section of the Ordinance above referred to.

PROPERTY DESCRIPTION

Property is located at 800 BROADWAY ST.
 The legal description (if applicable) is as follows: 1, 2, 3 + E 1/2 4
Block 1 Block REPLAT OF LONG BEACH PB 1 pg 306 Lot(s) Subdivision or Plat
 or _____
 (if otherwise legally described)

Lot Size .89 AC (38,803 sq ft) Present Zoning Classification C-1 COMMERCIAL

Present Use RESTAURANT

Present structures (type) and improvements upon the land 1 STORY RESTAURANT
Bldg. w/ WOOD DECK walkways & Dock STRUCTURES

PETITION FOR SPECIAL EXCEPTION

Page 2

The proposed use will be RECONSTRUCTED RESTAURANT w/ RECONSTRUCTED
DOCKS (FDEP PERMIT PENDING) OUTDOOR DINING AND DEMOLITION
DOCK EXPANSION

If this petition is granted, the effect will be to CONTINUE A WATERFRONT RESTAURANT
IN OPERATION SINCE 1967. JUMP START REUTILIZATION OF THE
COMMERCIAL MARINA ST OF THE VILLAGE & NORTH END OF LONGBOAT KEY.
(brief description, i.e. to reduce side yard from 7.5 ft. to 2 ft.)

Has any previous application or appeal been filed within the last year in connection with these premises? yes no If so, briefly state the nature of the application or appeal:

SMALL AREA COMPREHENSIVE PLAN AMENDMENT R16 to C1 5/15
REZONE R16 to C-1 5/15
VARIANCE - SETBACK to MINIM. 0' & BROADWAY 20' 1/15

What is the Applicant's interest in the premises affect? OWNER

800 BROADWAY, LLC - 465 John Ringling Blvd, #200 SARASOTA FL 34236
(Owner, agent, lessee, etc)

LISTS AND LABELS OF ALL PROPERTY OWNERS WITHIN 500 FT. OF SUBJECT PROPERTY THAT ARE TO BE NOTIFIED WILL BE PROVIDED BY THE TOWN.

FOR STAFF USE ONLY

Application Fee: \$ 1000.00 deposit* Receipt # _____
(Application fee will be deducted from deposit)

Application and Plans Accepted By: _____ Date: _____

File Code/Number: _____

*Deposit required at time of formal submission

At the conclusion of your plan review by the Town, you will be billed for additional staff time, Town Attorney cost, cost of advertising, and any other miscellaneous costs incurred with the processing of your application(s). Costs will be deducted from initial deposit. If costs exceed the initial deposit, you will be billed for the remaining costs incurred; or you will be refunded the unused portion of the deposit.

PETITION FOR SPECIAL EXCEPTION

Page 3

(I) (We) understand that this Petition becomes a part of the permanent records of the Town of Longboat Key. (I) (We) certify that the above statements and the statements or showing made in any paper or plans submitted herewith are true to the best of (my) (our) knowledge and belief.

[Signature]
Signature of Owner

Tom LEONARD
Print or type Owner Name

Mailing address you wish information sent to and telephone number:

800 BROADWAY LLC
405 John Pundling Blvd # 200
SARASOTA FL 34234

Phone # 407-489-6001

Fax # _____

[Signature]

The Owner has hereby designated the above signed person to act as his agent in regard to this Petition. (To be executed when Owner designates another to act on his behalf)

PETER M DAILEY
Print or type Agent Name

+ PETER M Dailey
394 Butler Ave
SARASOTA FL 34234
941-302-1500

Notarization of Agent's Signature:

State of FL

County of Manatee

The foregoing instrument was acknowledged before me this 23 day of July, 2015

by Peter M Dailey

as AGENT
(type of authority)

for 800 Broadway LLC
(name of party acting on behalf of)

[Signature]
Notary Public

GULIZ M GIBBS
Name of Notary (print, typed or stamped)



Personally know ___ OR produced identification ✓

Type of Identification FL Driver License



Planning, Zoning & Building Department
501 Bay Isles Road
Longboat Key, Florida 34228
Fax Number: (941) 373-7938
Web: <http://www.longboatkey.org>

(941) 316-1966

VERIFIED STATEMENT AND CERTIFICATE OF OWNERSHIP

Pursuant to Sections 158.095 and 158.097(C), Town of Longboat Key Town Code, I am submitting the following Verified Statement and Certificate of Ownership. This Verified Statement and Certificate of Ownership reflects each and every individual person having a legal ownership, interest in the subject property except publicly held corporations whose stock is traded on a nationally recognized stock exchange, in which case the name and address of the corporation and principal executive officers will be sufficient.

I hereby verify and certify that as of July 27, 2015 (date), the following are all persons and/or entities having a legal ownership interest in the real property located at

800 BROADWAY ST, LONGBOAT KEY FL 34228
 (legal/address)

Property Owners and/or shareholders:

1. Tom Leonard _____
 2. _____
 3. _____
 4. _____
- (Please attach additional sheets if necessary)

The undersigned does hereby state under oath that the foregoing information is true and correct.

[Signature]
 Signature

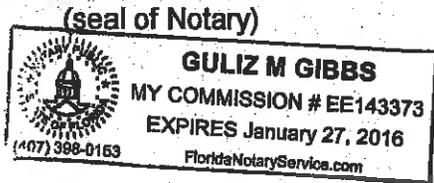
Tom Leonard
 Print Name

Managing Partner
 Title

State of FL
 County of Manatee

The foregoing instrument was acknowledged before me this 23 July, 2015, by Thomas Leonard (name and title), who is personally known to me or who has produced _____ as identification.

Guliz M Gibbs
 Signature of Notary
Guliz M Gibbs
 Print Name of Notary





Town of Longboat Key
 Planning Zoning Building
 501 Bay Isles Road
 Longboat Key, FL 34228

Property Owner Affidavit

Authorized Agent

941-316-1966
 941-316-1970 FAX

(I)(We) TOM LEONARD 800 BROADWAY LLC as owner(s) of the property whose address and legal description is lots 1, 2, 3, + 2nd lot of Long BEACH - Block 1, hereby appoint PETER M DAILEY our AGENT agent(s) to act on (my)(our) behalf for the request set forth below. (I)(we) understand that the agent may incur costs and expenses on our behalf in connection with (my)(our) request and agree to pay those fees and expenses in accordance with the Code of Ordinances of the Town of Longboat Key.

The nature of (my)(our) request is SPECIAL EXCEPTION / SITE PLAN
 (Variance, Zoning Determination, Special Exception, Permitting, etc.)

If this Affidavit is for an Association, please provide a copy of the Board Meeting minutes / authorization allowing the work to be completed.

TOM LEONARD
 Print or Type Property Owner's/Board Member

[Signature]
 Signature of Property Owner/Board Member

Print or Type Property Owner's Name/Board Member

Signature of Property Owner/Board Member

Mailing Address of Property Owner(s) / Association: 800 BROADWAY, LLC
465 JOHN RINGLING BLVD. # 200, SARASOTA FL. 34236
407-489-6001
 Telephone Number of Property Owner(s)/Association

Fax Number of Property Owner(s)/ Association

Mailing Address of Agent(s): PETER M DAILEY, 39th BUTLER AVE
SARASOTA FL. 34234

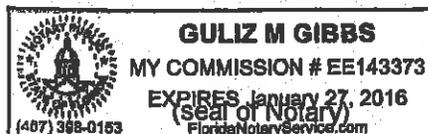
941-302-1500
 Telephone Number of Agent(s)

Email - DAILEYDESIGN1@gmail.com
 Fax Number of Agent(s)

State of FL
 County of Manatee

The foregoing instrument was acknowledged before me this 23 July, 2015, by Thomas Leonard (name and title), who is personally known to me or who has produced _____ as identification.

[Signature]
 Signature of Notary
GULIZ M GIBBS
 Print Name of Notary



Sept. 28, 2015

Ms. Alaina Ray, AICP
Town of Longboat Key
Planning, Zoning & Building Department
501 Bay Isles Road
Longboat Key, FL 34228

**RE: Moore's Stone Crab Restaurant (Shore Restaurant)
Special Exception Application**

Dear Alaina:

On behalf of our client, we are re-submitting the Special Exception Application to allow outdoor dining and a dock structure larger than 500 square feet along with supporting information for the Moore's Stone Crab Restaurant (Shore Restaurant). The proposed construction of a new upscale restaurant includes a parking garage, a first floor dining area, kitchen, bar, outdoor deck and dining area, and associated retail area for the patrons of the restaurant. The parking calculations are indicated on the Site Plan Sheet 2 and are based on Section 158.128. As such, parking meets the minimum requirements. See Site Plan Sheet 2 of the Special Exception Plan Set for details.

The Special Exception request is also for allowing a dock or over water structure to exceed 500 square feet (Section 158.155 (C)). The existing grandfathered historic dock is currently 4,069 square feet. The new proposed dock will be 4,116.5 feet or only 47.5 feet larger than what exists today and will meet the requirements of Section 158.126 of the code.

A Variance application to allow dock facilities to exceed the 50' from MHWL code requirements is also being processed concurrently with the Special Exception and Site Plan Review. An application has been made to Florida Department of Environmental Protection to allow the extension of fingers out away from the sea grass beds to enhance protection of that ecosystem. The new proposed dock system will encourage more boat traffic to the restaurant decreasing the impact of traffic on Broadway Street. The application for a special exception for the outdoor dining shall state how the proposed outdoor dining meets each of the criteria required for a special exception. Please find the following response to each of the applicable criteria in the application.

158.126- Special Exception:

As per Town Code Section 158.126(A), before any special exception shall be granted, the Planning and Zoning Board shall make a written finding that the granting of the special exception will not adversely affect the public interest and certifying that the specific requirements governing the individual special exception, if any, have been met by the petitioner and that, further, satisfactory provision and arrangement has been made concerning the following matters, where applicable. The applicant shall address, and provide answers where necessary.

(A) Compliance with all elements of the Comprehensive Plan.

The proposed special exception complies with all applicable elements of the Comprehensive Plan. Refer to attached Comprehensive Plan Analysis for details. Canoes and Kayaks will be allowed to dock along the proposed docks. There is no launch area or parking provided to canoe/kayak users.

- (B) That the use is a permitted special exception use as set forth in the Schedule of Use Regulations.

The current zoning for the property is C-1. Outdoor Dining is a permitted and allowed special exception use within the C-1 zoning district.

Docks and over water structures over 500 square feet are allowed in C-1 Commercial zoning districts.

- (C) Ingress and egress to property and proposed structures thereon with particular reference to automotive and pedestrian safety and convenience, traffic flow and control, and access in case of fire or catastrophe.

Existing Site currently has three curb cut access points to Broadway Street. Broadway is a public street. The proposed plan has two access points to the western parking areas and one access point in the east end of the site to access the garage and loading /dumpster areas. Refer to Site Plan Sheet 2 for proposed traffic circulation patterns and pedestrian paths for ingress and egress to the restaurant.

With reference to the dock structure over 500 square feet there is no increased impact related to ingress and egress to the property. The existing dock structure is 4,069 square feet. Once rebuilt the new dock structure will be 47.5 square feet larger or 4116.5 square feet.

- (D) Off-street parking and loading areas where required, with particular attention to the items in (3) above and the economic, noise, glare, or other effects of the special exception on adjoining properties and properties general in the district.

A detailed Landscaping & Screening Plan, Sheet 3 is included in the Special Exception Plan Set. In addition, Landscape elevations indicating how the deck area will be screened is included as part of the application.

Existing vegetative buffers will be enhanced and will provide excellent screening & buffering of the site as shown on Sheet 3, Landscape and Buffer Plan. Parking calculations and parking space locations (including boat slips) are provided on Sheet 2 of the Special Exception Plan Set. All spaces within the garage meet the minimum of 10' widths. The two overflow grass parking spots that did not meet access requirements have been removed. All parallel spaces meet the required length.

As to the Special Exception increase in the over water structure Not Applicable.

- (E) Refuse and service areas, with particular reference to items in (3) and (4) above.

The dumpster location was moved to a location adjacent to the loading dock and building complex, and meets the size and dimension requirements of the Zoning Code. The refuse use and service areas will be adequately screened. Additional landscaping will be installed to further protect adjacent properties from noise, glare and other effects. The dumpster area will be tied into a grease trap for the restaurant to reduce any impacts from the trash functions associated with a dumpster.

As to the Special Exception increase in the over water structure Not Applicable.

- (F) Utilities, with reference to locations, availability, and compatibility.

Existing utilities which the Stonecrab Restaurant is tied into include water and sewer in Broadway Street. The new proposed restaurant has 185 seats and will not create any additional impacts for water and sewer services. The tie in points to the utility services will remain the same as they are currently. In addition, the site lighting is indicated on the Lighting Plan Sheet, EO.10. The owners are working with Florida Power and Light to reduce the impacts of overhead Electrical services and power poles for the area. If electrical service can be put underground it will visually clean up the entire east end of Broadway Street, including service to the 4 homes along the north side of the Street. (See attached Sheet 2 and Lighting Plans); Since this is a construction of a new 185 seat restaurant, there are no additional proposed utilities required. Existing meter and backflow sizes will be verified prior to building permit application based on any additional fixture units proposed. Air conditioning air handlers will be placed upon the roof behind parapet walls to visually screen and reduce noise to the surrounding neighbors. As to the Special Exception increase in square footage of the over water structure Not Applicable.

- (G) **Screening and buffering with reference to type, dimensions and character. A detailed Landscaping & Screening Plan (Sheet 3) is included in the Special Exception Plan Set. Existing vegetative buffers will be enhanced and will provide excellent screening & buffers meeting or exceeding code requirements for the site as shown on Sheet 3. Additional landscaping is proposed at ground level and at deck level along the proposed area for the outdoor dining located at the east end of the site to further enhance the screening and buffers. Elevations are provided in the Architectural Elevation Plan Set from each of the four sides of the proposed building construction. The parking lot areas are proposed to have landscape screening to prevent headlights from being visible from the water or the homes across Broadway Street. The plants will be of sufficient height as to screen parked cars from the street and the water. There is a retaining wall being proposed across the entire waterfront landward of the mean high water line. The purpose of the wall is to prevent any direct runoff from the parking lot and drive areas from directly discharging to the Bay. As to the Special Exception increase in square footage of the over water structure Not Applicable.**
- (H) **Signs, if any, and proposed exterior lighting with reference to glare, traffic safety, economic effects, and compatibility and harmony with properties in the district. Proposed lighting for the site and the outdoor dining area will be as delineated on the Lighting Plan (Sheets EO.10) attached to the Site Plan Set. Signs will be wall mounted (Details will be provided as part of the Building Plans then filed). As to the Special Exception increase in square footage of the over water structure Not Applicable.**
- (I) **Required yards and other open space. The waterside setback and the street setbacks were requested to be 0 and 20 feet respectfully in a Variance request for Moore's Restaurant in February 2015, (Variance #1-15). The minimum allowable open space is**

20% by Zoning Code. The maximum open open space allowed is 80% and the project proposes 78.76% and the maximum lot coverage is 30% with the project proposing 29.19% as indicated on Sheet 2 All required and provided yard setbacks are shown on the Site Plan, Sheet 2.

The proposed new dock will be 47.5 square feet larger than the existing over water structure. There is a variance request to allow the docks to extend further than 50 feet from the MHWL currently being processed.

- (J) That the use conforms to all applicable regulations governing the district where located.

The proposed restaurant use, proposed outdoor dining area and over water structure size increase by special exception conform to all applicable regulations governed by the C-1 zoning district.

- (K) Considerations relating to general compatibility with adjacent properties and other property in the district, including but not being limited to:

- a) Whether the proposed use would be contrary to the land use plan and would have an adverse effect on the Comprehensive Plan. **The existing (and proposed) use is consistent and conforms to the future land use designation as identified on the Town's Future Land Use Map.**
- b) Whether the proposed use would be compatible with the established land use pattern. **The proposed use is compatible with the established land use as a restaurant has been in existence on this site since 1967.**
- c) Whether the proposed use would materially alter the population density pattern and thereby increase or overtax the load on public facilities such as schools, utilities or streets. **A restaurant use does not add density population and therefore will not increase the load on schools. The new restaurant will have 185 seats which is what the current restaurant is permitted for. Therefore there is no additional traffic or utility usage keeping the character and intensity of the site as it is today.**
- d) Whether changed or changing conditions find the proposed use to be advantageous to the community and the neighborhood. **This restaurant has been an established part of this community and neighborhood and will continue to provide quality dining and entertainment as part of it's contribution to Longboat Key. As an iconic restaurant serving the commercial needs of the Village area for the past 48 years, outdoor dining will provide an amenity to patrons to enhance the experience provided by only one of several waterfront dining facilities remaining on the Key. Many of the neighbors in the Village area can easily access the restaurant via walkways or by bicycle, (Note: Bike racks have added –See Site Plan Sheet 2). The proposed one story restaurant over parking will not increase any existing impacts and in fact will reduce impacts of light noise and visual intrusion thru increased landscaping and buffering. Air conditioning will be screened from view thru parapet walls. The new configured boat docks will entice more patrons to access the restaurant from the water by boat. This will also help reduce traffic on Broadway. These factors all add up to creating less impact to the neighbors creating an advantage for them. Part of the reason people live on barrier islands is to take advantage of the life style provided by water front living and dining opportunities. Again, this new**

restaurant will help to revitalize the Village commercial in general and will continue to provide waterfront dining to the neighbors. See Elevation sheets.

As to the SE for increased over water structure the new configuration will allow for safer boating approach to the restaurant while protecting the existing sea grass beds from any impact from the boating public.

- e) Whether the proposed use would adversely influence living conditions in the neighborhood. **The proposed use will not adversely influence living conditions in the neighborhood as the use has been in existence since 1967 and the outdoor dining will be substantially buffered from view and noise reduction through landscape buffering and walls to the protect neighbors to the north. The new restaurant will have 185 seats consistent with what is currently permitted for the restaurant in place now.**

As to the Special Exception increase in square footage of the over water structure Not Application.

- f) Whether the proposed use would create or excessively increase traffic congestion or otherwise affect public safety. **A Transportation Concurrency Analysis has been prepared and will be provided under separate cover as part of this application to demonstrate that no adverse impacts are created as a result of this application. (Note: The Traffic Plan submitted was for 299 seats and showed no negative impacts related to traffic. Since we are proposing only 185 seats as the current restaurant is permitted for there is no additional traffic impacts for the proposed new restaurant).**

As to the Special Exception increase in square footage of the over water structure Not Applicable.

- g) Whether the proposed use would create a drainage problem. **The impervious surface proposed as part of this application is slightly more than the building and deck coverage of the existing restaurant. The proposed drainage retention volume is sufficient to accommodate the runoff from the site and meets the state water quality requirements. This site discharges to Sarasota Bay after treatment and will have no adverse effects on adjacent properties or rights of way. Lot coverage calculations are indicated on Sheet 4.**

As to the Special Exception increase in square footage of the over water structure Not Applicable.

- h) Whether the proposed use would seriously reduce the flows of light and air to adjacent areas. **The proposed use will have minimal impact on light and air reduction to the adjacent areas. Additionally, the existing impacts of the service areas and air conditioning units at The Shore restaurant will be screened from views with buffering and parapet walls.**

As to the Special Exception increase in square footage of the over water structure Not Applicable.

- i) Whether the proposed use would adversely affect property values in the adjacent area. ***The proposed use will have no impact on adjacent property values because the values have been set historically with the restaurant having been there since 1967. Additionally a new restaurant will create additional values to neighboring properties by virtue of its being new and with all the proposed landscaping and buffering the area will be transformed into a beautiful addition to the Village.***
- j) Whether the proposed use would be a deterrent to the improvement or development of adjacent property in accordance with existing regulations. ***The proposed use will have no impact on the improvement or development of adjacent properties in accordance with existing regulations.***
- k) Whether the proposed use would be out of scale with the needs of the neighborhood or the Town. ***The existing/proposed use continues to meet the needs of the Town and surrounding community and is consistent and in scale with the needs of the neighborhood and Town. With 185 seats the use will remain consistent in its scale and serves the dining needs of the neighborhood and Town as it has for 48 years. The new dock structures will preserve the environment better than what exists today by protecting the sea grass beds and by creating an enticement to patronize the restaurant by water reducing traffic impacts on Broadway.***

Section 158.136- Outdoor dining for restaurants:

- (1) The principal use of the property shall be a restaurant that provides indoor dining, outdoor dining, or both types of dining. Please clarify the types of dining offered at the proposed Shore restaurant and in what percentages. ***The restaurant currently provides indoor dining. The proposed restaurant will provide both indoor and outdoor dining upon approval of this Special Exception to allow outdoor dining. The indoor dining/bar areas will seat 85 patrons and there will be 100 outdoor dining seats mostly along the deck area to the south of the building. The proposed outdoor dining in the east end of the restaurant will be screened from view and noise impacts through walls and landscaping. See Sheet 2 and 3 of the Application set.***
- (2) The outdoor dining area shall be used only for food service, drink service, as a waiting area and for casual seating. Please specify each type of service to be provided in the proposed outdoor dining area. ***The outdoor dining area will be used for food service, drink service, dining area and casual waiting area seating.***
- (3) All food and drink preparations shall take place within the confines of an enclosed restaurant building located on the same site as the outdoor dining area. ***All food and drink preparation will be provided within the kitchen and bar area.***
- (4) An outdoor dining area shall be considered an expansion of a restaurant. Accordingly, an outdoor dining area shall be designed in such a manner that will maintain a free, unobstructed connection between the restaurant and outdoor dining areas. All regulation that pertains to restaurant dining areas shall apply to outdoor dining areas. ***Acknowledged. Refer to Seating Plans***

and the Site Plan Sheet 2 for proposed connections between the new restaurant and the outdoor dining deck.

- (5) An outdoor dining area may be located within the required street yard, the required canal, bay, or pass waterfront yard, and within a non-required yard. An outdoor dining area shall not be located in any required side or rear yard when that yard abuts residential property. **Acknowledged. The proposed outdoor dining lies outside the allowed 20 foot setback for Broadway Street. All yard setbacks are delineated on Sheet 2 of the Special Exception Plan Set.**
- (6) All outdoor dining areas shall meet the regulations for parking under Section 158.128 as may be modified by subsection 158.178(A) (1). **See Sheet 2 of the Special Exception Plan for updated parking calculations based on net patron area consistent with Section 158.128 of the code for the restaurant floor areas.**
- (7) The entire ground service area of the outdoor dining area shall have an improved walking surface. **The walking surface of the proposed restaurant floor dining areas will be new and shall be wood/carpet or equivalent material.**
- (8) The entire ground service area of the outdoor dining area shall be physically delineated by the improved walking surface, railing, fencing, a wall, landscaping, or similar device deemed by the Planning and Zoning Board to be consistent with the intent of this subsection. **All service areas within the outdoor dining shall be clearly delineated by railings and signage. See Seating Plans for details.**
- (9) Hours of Operation: When an outdoor dining area is located within 250 feet of residential property, service in the outdoor dining area shall not begin before 8:00am and the outdoor dining area shall be vacated by 10:00pm, at which time, lights, other than safety and security lighting, shall be prohibited. **The hours of operation for the outdoor dining area are 11:00a.m. to 10:00 p.m.**
- (10) No music or amplified voices shall be allowed in the outdoor dining area. Noise shall not be audible more than 50 feet from the commercial property and shall otherwise be in accordance with Section 130.02, Loud and Unnecessary Noise, of the Town code, as may be amended. **The applicant is aware of and agrees to this condition.**
- (11) All lighting used in conjunction with an outdoor dining area shall be designed and installed in a manner to avoid glare being directed toward a public or private right-of-way, adjacent property, and the Gulf of Mexico pursuant to Chapter 100 of the Town Code, Sea Turtles, as may be amended. **The proposed restaurant construction areas shall be well-buffered from adjacent properties and rights-of-way. The applicant acknowledges that any installation of additional lighting must meet all code requirements and be approved by the town. See Lighting Plans and details (Sheets EO.10 of the Site Plan Amendment Set). See additional elevations provided as part of the Architectural Elevation Plan Set.**
- (12) An outdoor dining area shall be screened from all adjacent properties and right-of-ways. The required landscaped screening shall comply with the standards contained in Section 158.154(A)(1) and (2), except that the required screening in a street or waterfront yard shall have a height of three feet and the required screening in the side, rear, or non-required yards shall have a maximum height of six feet. In addition, the required screen shall be at least 80% opaque. **A**

detailed Landscaping & Screening Plan Sheet 3 is included in the Special Exception Plan Set. Existing vegetative buffers will be enhanced and will provide excellent screening & buffering of the site in its current condition. Additional landscaping is proposed at ground level. Landscaped elevations for the building are included in the application.

- (13) All furniture within an outdoor dining area shall be portable, meaning that such furniture shall be easily removable from the outdoor dining area. Portable furniture may include tables, chairs, and umbrellas. The maximum diameter of an umbrella shall be eight feet and shall be fabric covered. In the event of a tropical storm, the furniture shall be physically secured or stored within the restaurant building or other on-site enclosed storage area. **All furniture utilized in the outdoor dining area shall be made of resin or equivalent materials similar to the existing furniture. Furniture shall be removed by hand and stored within enclosed structures when not in use.**
- (14) No signs, unless specifically exempted in the Town Sign Code, shall be permitted within the outdoor dining areas.
The applicant agrees that all of the above criteria has or will be met, as applicable.
- (15) Any increase in the total number of seats at the restaurant in conjunction with the establishment of an outdoor dining area, may subject the property owner to an assessment of a sewer/water connection fee in accordance with Town Code Chapter 51, Charges, Rates and Billing.
The Moore's restaurant is currently paying for 19 units of sewer and water fees. Per Town Code Section 51.02(J)(17), water and sewer units are calculated at 1.5 units for each 15 seats or fraction thereof. The newly constructed restaurant will remain consistent with existing water and sewer use and the payments will remain the same.

158.155 - Structures over water.

(A)

No structures other than boat docks, accessory dock structures including benches, guard rails, fish cleaning tables, a ladder or other device which provides a reasonable means of egress from the water to a boat dock, and equipment lockers, pilings, boat lifts or pile mounted davits shall be permitted to be constructed, reconstructed, or structurally altered beyond the mean high-water line. Structures over water on properties abutting the Gulf of Mexico are prohibited. Permitted structures over water shall comply with the following standards:

(1)

The permitted structure over water shall not substantially interfere with the riparian rights of other property owners nor substantially obstruct a navigable channel or the navigation rights of other property owners.

The proposed reconstructed dock will not obstruct the navigable channel or navigation rights of other property owners.

(2)

Except as provided below, no building, equipment, facility or any other type of structure shall be erected, placed, located or maintained on a dock that extends above the walking surface of the dock:

(a)

Pilings, subject to a maximum height limit of 8½ feet above the highest walking surface of the dock when a piling is attached to a boat dock, in all other cases the maximum height limit for a piling shall be 11½ feet above the mean high-water line.

(b)

Benches, guard rails, fish cleaning tables, and equipment lockers which do not exceed a height of four feet above the walking surface of the dock upon which such structures are placed or erected.

(c)

Boat lifts adjacent to a boat dock. No part of the boat lift structure, except boat guides, shall exceed a height of five feet, measured from the highest walking surface of the dock.

(d)

Pile-mounted davits which do not exceed a height of 8½ feet, measured from the highest walking surface of the dock.

(e)

Lighting which does not exceed a height of 8½ feet, measured from the highest walking surface of the dock, subject to compliance with section 130.03.

All development criteria are noted and will be adhered to in construction plans for the new restaurant and dock facility.

(3)

Minimum setback.

(a)

For waterfront properties not abutting a manmade canal, a dock, boat lift, piling or pile-mounted davit shall be setback a minimum of 15 feet from the riparian line. The riparian line shall be determined in accordance with procedures established by law. A certified riparian rights survey by a professional land surveyor may be required by the town manager or designee.

Not Applicable.

(b)

For properties abutting a manmade canal a dock, boat lift, piling or pile-mounted davit shall be setback a minimum of 15 feet measured from a line perpendicular to a line tangent to the intersection of the side property line and the mean high-water line. Reference appendix: "land use charts and illustrations", section 8, Exhibit "B": "illustration of minimum setbacks" pursuant to subsection 158.155(A)(3)(b).

Not Applicable.

(c)

For properties abutting a manmade canal that are located at the head waters (land end) of a canal and have a canal front length of 75 feet or less, a dock, boat lift, piling or pile-mounted davit shall be setback from a line established by setting a point ten feet from the property boundary extending to the intersecting apex of the two lines established by extending a line tangent to the intersection of the side property lines and the mean high-water line and located outside the minimum setback area as illustrated in the appendix: "land use charts and illustrations", section 8, Exhibit "C": "illustration of minimum setbacks" pursuant to subsection 158.155(A)(3)(c).

AS to (A) (1), (2), (c) above Not Applicable.

(4)

Maximum projection into the water.

(a)

For properties abutting a canal, lagoon, bayou or pass, a dock, boat lift, piling or pile-mounted davit shall project into the water no more than 30 feet, measured from the mean high-water line, or 30 percent of the width of the navigable waterway, whichever is less.

Not Applicable

(b)

For properties abutting Sarasota Bay, a dock, boat lift, piling or pile-mounted davit shall project into the water no more than 50 feet, measured from the mean high-water line.

A variance request has been made to allow the new docks to extend out past the 50 foot restriction. (Note: the existing grandfathered dock structure currently extends out 150.6 feet and the proposed docks will extend out 188.6 feet with a terminal piling at 192.6 feet from the MHWL.

(B)

Boat lifts adjacent to a seawall shall not exceed a maximum height of five feet measured from the top of the seawall cap. An accessory catwalk for a boat lift is permitted subject to compliance with the minimum setback requirements contained in subsection (A)(3), above.

Not Applicable.

(C)

Maximum area. The maximum permitted area of a boat dock shall be 500 square feet. Any boat dock in excess of 500 square feet shall be a permitted special exception use, subject to compliance with section 158.126.

The existing grandfathered dock and over water structures is 4,069 sf. The reconstructed overwater dock facilities are proposed to be 4,116.5 sf. We are compliant with Section 158.126 as noted above in this application.

(D)

Maximum elevation of walking surface of a dock.

(1)

For properties with a seawall, the elevation of the walking surface of a dock shall not exceed the top of the seawall cap.

Not Applicable

(2)

For properties without a seawall, the elevation of the walking surface of a dock shall not exceed five feet above the mean high-water line.

Not Applicable.

(E)

Two or more adjacent waterfront property owners may join in an application for the construction of a dock. Said dock shall be no wider than 12 feet and shall not interfere with the navigational rights of adjoining property owners. All requirements within section 158.155 shall be met except that the property owned by the joint applicants shall be treated as one lot for purposes of determining setback for the dock and ancillary structures. As a condition of granting a permit, the applicants shall prepare mutually reciprocal easements for the use of said dock and shall record the easements in the public records in the county where the property is located as a condition for the permit being granted.

When a joint or shared dock is constructed pursuant to this subsection, no other docks shall be located on the subject properties.

Not Applicable.

(F)

Structures over water for single-family properties shall not be used for the purpose of mooring more than two vessels. A structure over water for single-family properties permitted pursuant to subsection (E) above, shall be limited to two vessels per property. The two vessel restriction shall not include personal watercraft, canoes, kayaks, row boats or other similar vessels.

Not Applicable.

(G)

Obtaining a permit pursuant to this section does not exempt the upland property owner from obtaining required federal, state or county outside agency permits or other town required permits.

Applicant will seek all necessary federal, state and county outside agency permits during building permit application.

(H)

Manatee Protection Plan (MPP)—Boat facility siting.

(1)

Applicability. Subsections (2) and (3) below, shall be applicable and enforceable throughout the Sarasota County portion of the town. For boat facilities proposed for the Manatee County portion of the town, the boat facility shall meet all other federal, state and local laws. subsections (4), (5) and (6) shall be applicable throughout the town.

So Noted.

(2)

Standards for development.

(a)

All docks and boat facilities shall comply with Sarasota County's Manatee Protection Plan (MPP), and related ordinances, as well as applicable sections of section 158.155, of the town zoning code.

So Noted

(b)

Written approval, from the jurisdictional county, prior to applying for a permit, site plan, or other development plan shall be provided at submittal of the applicable application.

So Noted

(c)

All boat facility development proposals shall be consistent with the MPP and related ordinances. If a boat facility development proposal is found to be inconsistent with the MPP or related ordinances of Sarasota County, a formal consultation under section 7 of the Endangered Species Act, shall be initiated with the state and federal wildlife agencies. Said development

proposal shall not be authorized until approval is obtained from said agencies.

So Noted

(d)

The applicable Town of Longboat Key permit shall be obtained for all boat facility development proposals prior to commencing construction activities.

So Noted

(3)

Review authority.

(a)

Sarasota County is herein authorized to review and provide a written conditioned determination on any project or application for a boat facility development proposal for consistency with the MPP.

(b)

The town manager or designee is herein authorized to impose conditions for any boat facility development proposal in order to assure consistency with the MPP and the Town of Longboat Key Zoning Code and Comprehensive Plan.

(c)

Sarasota County shall have the power and the authority to identify those proposals, in all aspects of development based on the MPP, with potential impact on the West Indian manatee, its success and survival.

Relating to 3 a,b,and c above, So Noted.

(4)

Unlawful to kill, molest or injure manatees. It shall be unlawful for any person to kill, molest, harass, or cause direct or indirect injury to, or to collect or possess any part of, a West Indian manatee.

So Noted.

(5)

Civil and administrative enforcement powers.

(a)

The Town of Longboat Key shall have the power to enforce the provisions of this section, or any permit and or approval issued hereunder, by equitable or legal judicial proceedings, including the power to enjoin violations by mandatory and prohibitory injunction, or other legal or administrative process, including code enforcement proceedings as set

out in Town Code section 33.14. Each day of any such violation shall constitute a separate and distinct offense.

(b)

The town manager or designee is hereby authorized to issue a stop work notice to a person where the administrator determines that work at the site:

1.

Is proceeding in violation of this section; or

2.

Poses an imminent and significant hazard to the public health, safety or welfare, or to the environment.

(c)

No development proposal for a boat facility shall be deemed consistent with provisions of the MPP or applicable manatee protection ordinance if there is an existing boat facility on the property that is in violation of the Town of Longboat Key Code.

With respect to 5 a,b, and c, above, So Noted.

(6)

Criminal enforcement powers. In addition to the remedies provided herein, a violation of any of the provisions of this section or of any regulations adopted or permit conditions approved pursuant to this section may also be prosecuted and enforced as a misdemeanor and shall be punishable in the same manner as a misdemeanor as provided by law. Each day of any such violation shall constitute a separate and distinct offense.

So Noted

(l)

Obtaining a permit pursuant to this section does not exempt the upland property owner from obtaining required federal, state or county outside agency permits or other town required permits.

(Ord. 90-06, passed 3-19-90; Amd. Ord. 94-32, passed 1-19-95; Amd. Ord. 99-17, passed 6-7-99; Amd. Ord. 05-17, passed 6-6-06)

Applicant will seek all necessary federal, state and county outside agency permits.

(Ord. 90-06, passed 3-19-90; Amd. Ord. 94-32, passed 1-19-95; Amd. Ord. 99-17, passed 6-7-99; Amd. Ord. 05-17, passed 6-6-06)

We trust that this detailed analysis meets and exceeds the requirements for the Special Exception Application checklist and review criteria.

Sincerely,

Peter M. Dailey, AICP
Dailey Design Group

CC: Tom Leonard 800 Broadway. LLC

Sept. 21, 2015

Ms. Alaina Ray, AICP
Town of Longboat Key
501 Bay Isles Road
Longboat Key, FL 34228

**RE: Comprehensive Plan Analysis
Site Plan for Moore's Stone Crab Restaurant (Shore Restaurant)**

Dear Ms. Ray:

On behalf of our client, we are submitting the following revised comprehensive plan analysis as part of the Special Exception Application.

FUTURE LAND USE ELEMENT GOAL – To preserve and enhance the character of the Town of Longboat Key by the following: 1) ensuring that the location, density, intensity and character of land uses are responsive to the social and economic needs of the community and are consistent with the support capabilities of the natural and manmade systems; and, 2) maintaining an environment that is conducive to the health, safety, welfare, and property values of the community.

The application request is consistent with Goal 1 of the Comprehensive Plan as it provides for a reconstruction of the restaurant to increase its economic viability within the community. The restaurant has been in existence since 1967 and is a staple to the community it serves. The proposed new restaurant is consistent and compliant with the Town's Codes and Regulations. All state statutes are being adhered to in regards to Water Quality Requirements. All associated state health department permits are in compliance. A newly constructed restaurant on the site will enhance the commercial vitality of the The Village and will jump start the revitalization of the north end of longboat key. The new restaurant will maintain an environment that preserves the health, safety, welfare and property values of the community in which it is located and is consistent with all Objectives and Policies established as part of the Future Land Use Element Goal.

TRANSPORTATION ELEMENT GOAL 1 – To provide a safe, convenient, efficient, and operationally acceptable multi-modal transportation system for residents and visitors in the Town of Longboat Key. (Ordinance 2012-06; Adopted: June 21, 2012)

The application request is consistent with Goals, Objectives and Policies of the Transportation Element of the Comprehensive Plan as it provides for safe ingress and egress to the restaurant via existing public rights of way. It provides for multi-modal means of access by providing pedestrian paths (sidewalks), bike

parking, boat slips and canoe/kayak access and parking. Specifically, Policies 1.4.3, 1.4.4, 1.4.5., and 1.4.6 are provided for by this project and it's associated design elements. In addition, as part of this application and development, the existing shell driveways will be replaced with concrete and permeable paving surfaces and stormwater will be treated prior to discharge which will improve the overall maintenance of the Town's adjacent roadway (Broadway Street). Transportation Concurrency Report with supporting calculations was provided under separate cover to demonstrate consistency with Policy 1.1.6 and 1.1.8. Policy 1.1.9 is achieved by the use of several means of ingress/egress from the Site; safe and efficient internal circulation; and pedestrian oriented amenities (bike racks and boat slips. (Note: The Transportation Study was conducted for a 299 seats, however we are only requesting 185 seats as the existing restaurant is permitted for. There are no additional transportation/traffic impacts created by constructing a new 185 seat restaurant).

CONSERVATION AND COASTAL MANAGEMENT ELEMENT GOAL 1 – The Town will maintain the quality of its environmental features.

Although there are no wetlands located onsite, as part of this application, existing stormwater retention systems will be enhanced in accordance with Objective 1.2. Specifically, the project is achieving a stormwater system which will direct stormwater away from the Bay and treat prior to discharge consistent with Policies 1.2.1, 1.2.2 and 1.2.3. New landscape planting areas are being proposed that will further enhance viable natural habitat. In regards to Objective 1.5, the new restaurant will continue to maintain hours and noise levels consistent with the Town's Noise Ordinance. Consistent with Objective 3.2, the restaurant meets and exceeds all required building setbacks (Variance #1-15 approved Feb. 12, 2015). The special exception allows for outdoor dining, however the actual tables and chairs can be moved to storage areas making provision for safe storing of all outdoor dining furniture during storm events. The special exception for increase in allowable dock coverage in reality is only approving an increase of 47.5 sf over what is currently constructed. In summary, this project is consistent and complies with all applicable goals, objectives and policies of the Conservation and Coastal Management Elements of the Town's Comprehensive Plan.

INFRASTRUCTURE SUB-ELEMENT GOALS FOR WATER AND WASTEWATER

The project meets all applicable Objectives and Policies for water and wastewater as current services are already provided to the restaurant for the same number of seats as are currently permitted for.

INFRASTRUCTURE SUB-ELEMENT GOALS FOR STORMWATER

As part of the application process, a stormwater plan was provided in accordance with Objective 3.2 of the Stormwater Element of the Comprehensive Plan. No direct discharge to Sarasota Bay is proposed as part of this application.

INFRASTRUCTURE SUB-ELEMENT GOALS FOR SOLID WASTE

A copy of the grease trap maintenance agreement will be provided to the Town to demonstrate compliance with Objective 1.3. In addition, the dumpster has been relocated to a concrete pad with fencing and buffers in accordance with the Town's Codes and Regulations. The stormwater treatment areas provide collection and treatment of any stormwater runoff from the site and the dumpster area.

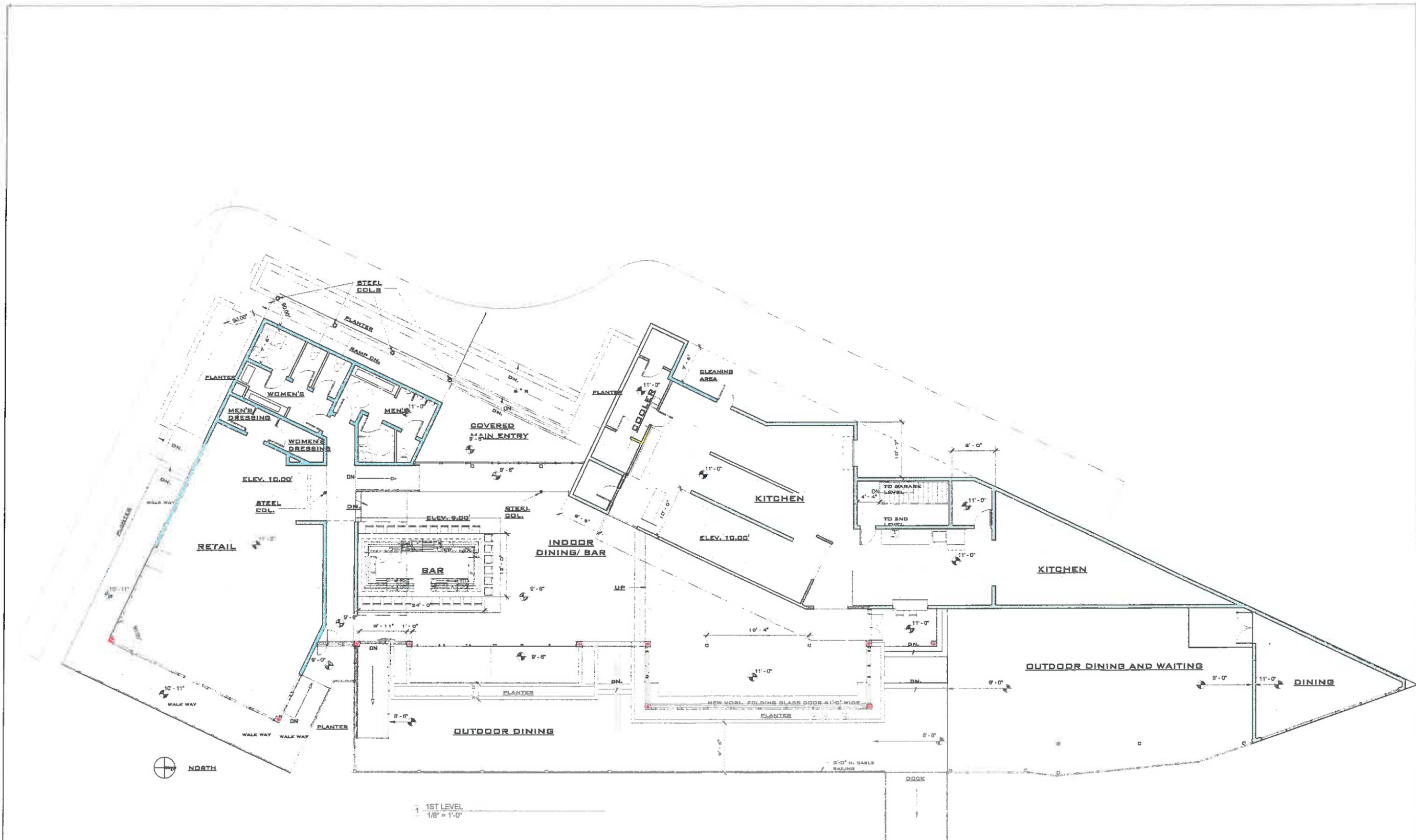
OTHER ELEMENTS OF COMPREHENSIVE PLAN NOT IDENTIFIED HEREIN ARE NOT APPLICABLE TO THIS TYPE OF PROJECT OR APPLICATION. THESE INCLUDE INTERGOVERNMENTAL COORDINATION, CAPITAL IMPROVEMENTS, MANATEE COUNTY PUBLIC SCHOOL FACILITIES, SARASOTA COUNTY PUBLIC SCHOOL FACILITIES.

In summary, we hereby certify that this project is consistent with all elements of the Comprehensive Plan and is in compliance with all applicable Town Codes and Regulations.

Sincerely,


Peter M. Dailey
Dailey Design Group

cc: Tom Leonard, 800 Broadway Street



CAROTTI
ENGINEERING LLC

RENATO A. CAROTTI, P.E. PE 64764
ENGINEERING FIRM

SEAL

PROJECT:
NEW RESTAURANT

800 BROADWAY STREET
LONGBOAT KEY FLORIDA

FOR:
THE SHORE

THE SHORE

4904 GOLD TREE WAY
SARASOTA FLORIDA 34232
941-379-4449 FAX
941-780-8822 PHONE
882ND0007@AOL.COM

REVISIONS

PROJECT NO.:

DATE: 09.01.15

A-102



4 SOUTH VIEW
3/32" = 1'-0"



3 NORTH VIEW
3/32" = 1'-0"



2 WEST FRONT VIEW
3/32" = 1'-0"



1 WATER FRONT VIEW
3/32" = 1'-0"

CAROTTI
ENGINEERING LLC

RENATO A. CAROTTI, P.E. PE 64764
ENGINEERING FIRM

SEAL

PROJECT:
NEW RESTAURANT
800 BROADWAY STREET
LONGBOAT KEY FLORIDA

FOR:
THE SHORE

TJB DESIGNS
4904 SOLO TREE WAY
SARASOTA FLORIDA 34232
941-379-4449 FAX
941-780-8883 PHONE
880ND6007@AOL.COM

REVISIONS

PROJECT NO.:

DATE: 09.01.15

A-105C

NOTE:
 1. BUILDING CODE: FLORIDA BUILDING CODE 2010
 2. LIFE SAFETY: NFPA 101, 2009 EDITION
 3. HANDICAP ACCESSIBILITY: FLORIDA ACCESSIBILITY CODE FOR BUILDING CONSTRUCTION AMERICANS WITH DISABILITIES ACT (ADA)
 4. BUILDING CLASS: CLASS 1
 5. OCCUPANCY LOAD: (ASSEMBLY- RESTAURANT)
 A. RESTAURANT DINING SEATS WILL NOT EXCEED 185

EXISTING BUILDING AREA: 10,109 SQ.FT. ENCLOSED 7,642 SQ.FT.
 PROPOSED BUILDING AREA: 11,157 SQ.FT. ENCLOSED 8,279 SQ.FT.



ROOM NUMBER	ROOM NAME	ROOM FINISH SCHEDULE					COMMENTS	AREA
		FLOOR	BASE	WALL	CEILING	CEILING HEIGHT		
1A	BAR							487 SF
1B	RESTROOM							523 SF
1C	ENTRY/ CORRIDOR							466 SF
1D	INDOOR SEATING							1990 SF
1E	SERVING BREEZEWAY							291 SF
1F	KITCHEN							2545 SF
1G	COOLER							REDUNDANT ROOM
1H	RETAIL SHOP							1602 SF
1J	OUTDOOR DINING & WAITING AREA							3300 SF
1K	INDOOR DINING							372 SF
1L	PLANTERS							142 SF
1M	PLANTERS							171 SF
1Q	STORAGE							61 SF
1R	STAIRS							166 SF

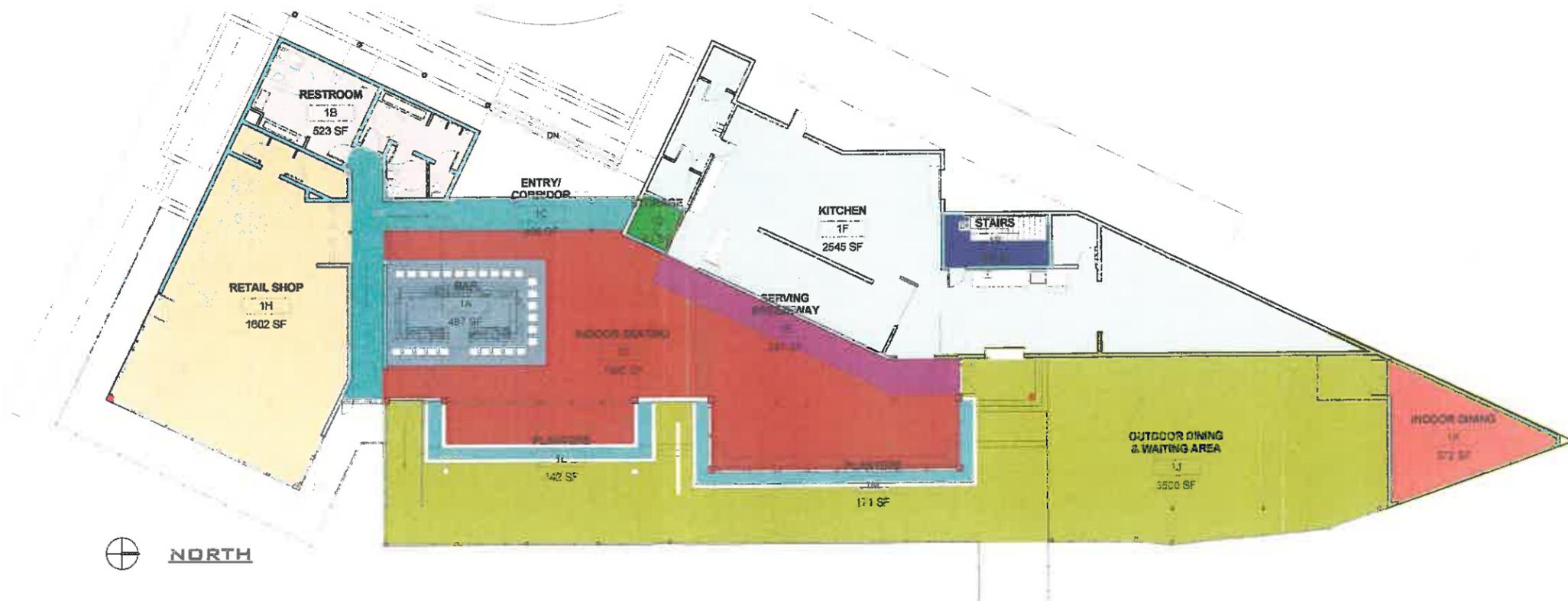
Building Area Legend

GROSS BUILDING AREA

2 GARAGE LEVEL
1/18" = 1'-0"

Room Legend

- BAR
- COOLER
- ENTRY/ CORRIDOR
- INDOOR DINING
- INDOOR SEATING
- KITCHEN
- OUTDOOR DINING & WAITING AREA
- PLANTERS
- RESTROOM
- RETAIL SHOP
- SERVING BREEZEWAY
- STAIRS
- STORAGE



NORTH

1 1ST FLOOR SQ.FT. AREA PLAN
3/32" = 1'-0"

CAROTTI
ENGINEERING LLC
RENATO A. CAROTTI, P.E., PE 64764
ENGINEERING FIRM

SEAL

PROJECT:
NEW RESTAURANT
800 BROADWAY STREET
LONGSDAT KEY FLORIDA

FOR:
THE SHORE

3 JB DESIGNS
4904 BOLD TREES WAY
SARASOTA FLORIDA 34232
941-379-4449 FAX
941-780-8853 PHONE
880ND6007@AOL.COM

REVISIONS

PROJECT NO.:

DATE: 09.01.15

A-106



Application for Modification of a Sovereignty Submerged Lands Lease

This application form may be used to apply for a modification of an existing Sovereignty Submerged Lands Lease pursuant to Chapter 253, Florida Statutes and Rule 18-21, Florida Administrative Code. Applications to modify a Sovereignty Submerged Lands Lease are not required to be submitted on this form. This form is being provided as a service to the public to clarify what information the Department needs to process an application. Submitting all of the necessary information initially will reduce the application processing time. Some proposed structures or activities may require an Environmental Resource Permit.

Instructions

- Please submit all documents on 8.5" x 11" paper, and type or print all information legibly.
- Include the following with your submittal:
 - A location map, clear enough that someone unfamiliar with the site can find it.
 - Copy of the current warranty deed, title insurance, legal opinion of title, or a long-term lease which specifically includes riparian rights.
 - For lease area larger than 3,000 square feet with changes to lease boundaries or structures: include 2 signed and sealed surveys. See Appendix A and B for survey requirements to give to the surveyor.
 - For lease area 3,000 square feet or less with changes to lease boundaries or structures: include 2 signed and sealed professional sketches. See Appendix C for sketch requirements to give to the surveyor.
 - Processing fee, made out to FDEP - Division of State Lands in the amount of:
 - \$232.00 for private, single family facilities; or
 - \$581.00 for all other facilities. (fee amounts as of 3/1/2011, fees change annually based on CPI)

Section 1: Existing Lease Information

Existing Lease Number (9 digits): 412833163

Existing WRP/ERP Permit Number (if known): _____

Effective Date: 8/20/2013

Expiration Date: 8/20/2018

Name of Lessee on Existing Lease: Mary J. Moore

Has upland ownership or Lessee's name changed? Yes No

Has there ever been a Temporary Use Agreement, Consent Order, or other enforcement associated with this lease? Yes No

Section 2: Applicant and Agent Information

Applicant/Riparian Owner (A riparian owner is the deeded owner of the property bordering navigable waters, as recognized by the courts of Florida and common law)

Name (include name of corporation, if applicable)

800 BROADWAY LLC, Tom Leonard

Address

800 BROADWAY, Longboat Key, FL 34228

Telephone

E-mail

A co-applicant may be necessary if the structure or activities cross over the riparian rights line between two properties, or when the applicant is not the upland owner. In these cases, the co-applicant would be the adjacent property owner, or the upland property owner respectively.

Co-Applicant (if applicable)

Name

Address

Telephone

E-mail

An agent is a person or entity who is authorized to negotiate details, submit necessary information, and receive a copy of the lease on the behalf of the applicant. Examples of agents are consultants, project engineers, dock contractors, etc.

Agent (if applicable)

Name

Buo R. GOLDSBY

Company Name

Address

4615 62nd Ave. E, Bradenton, FL 34203

Telephone

941.526.7047

E-mail

brgoldsb@ gmail . com

Section 3: Site Location

Name of waterway at lease location: Sarasota Bay

County in which the lease is located: Manatee

Street address of the facility under lease: 800 BROADWAY
Longboat Key, FL 34229

Section/Township/Range: 15 / 35S / 16E

Parcel ID # (can be found on the County Property Appraiser's website): 776610007

Subdivision Name (if applicable): _____

If available, please provide coordinates at center of lease: _____ Lat/ _____ Long

Section 4: Modification Information

(Write N/A if any of these do not apply to your facility)

Slips:

1. Is the total number of slips proposed to change from the number authorized in Paragraph 1 of the existing lease?

Yes No

• If Yes, enter total number of proposed slips: 16

2. Has the use of the slips described in Paragraph 1 of the existing lease changed, or is the use proposed to change after modification? Yes No

• If Yes, describe the proposed new use(s) and approximate date of change(s) below:

i. Types of vessels: (e.g., recreational, commercial fishing, liveaboards, cruise ships, tour boats)

ii. Proposed length and draft of vessels:

iii. Type of proposed mooring (e.g., temporary [less than 24 hour mooring], permanent, transient [short term mooring]):

3. Are any other structures (e.g., boat lifts, boat ramps, roofing) authorized in the existing lease proposed to be, or have already been, added or removed? Yes No

- If Yes, describe below. Include approximate date of change(s):

Preempted Area:

Is the lease boundary proposed to change from that shown in the existing lease survey?

Yes No

- If Yes, enter the new proposed preempted area (lease area) in square feet: 17,363

Upland Use:

Has the upland use described in Paragraph 1 of the existing lease changed, or is it proposed to change with the modification? (Example: residential to commercial, fish processing plant to restaurant, etc.) Yes No

- If Yes, please describe the proposed new upland uses and activities:
 - For commercial uses, indicate the specific type of activity, such as a marina, ship repair, dry storage (include number of storage spaces), commercial fishing/seafood processing, fish camp, hotel, motel, resort, restaurant, office complex, manufacturing operation, etc.
 - For multi-family residential uses, indicate the number of condominiums, apartments, or units. (Note: there is a 1:1 unit/slip ratio and 40:1 preempted area (sq ft)/linear footage of shoreline owned by applicant limit for multi-family residential docks. The preempted area limit is 10:1 square feet/linear footage of shoreline owned by the applicant in an Aquatic Preserve for multi-family residential docks.)

Section 5: Rental or Assignment Information

Are the slips proposed to be rented or assigned? Yes No

• If Yes, please answer the following:

- How many slips are proposed to be rented or assigned? _____
- How are the slips proposed to be rented or assigned (e.g., spaces rented on a month-to-month basis, through annual leases, sold with an upland unit, etc.)?

What percentage of slips, if any, are proposed to be available for rent to the public on a first-come/first-serve basis? N/A %

(A 30% discount on lease fees is available for facilities that are at least 90% open for rent to the public on a first-come/first-served basis)

- If slips were not previously authorized to be rented (before modification), but are proposed to be rented after modification, please provide a breakdown of any fees that will be assessed, and indicate whether or not such fees will generate revenue or will simply cover the costs associated with maintaining the facilities. *Please include this information on a separate sheet.*

Note: Marina facilities may be able to get a discount on lease fees while practicing environmental stewardship by applying and qualifying for FDEP's Clean Marina Program. More information at: www.dep.state.fl.us/cleanmarina/

Section 6: Facilities

1. Are there currently, or are any sewage pumpout facilities proposed to be located on the dock (pumpout station, pumpout boat, etc.)? Yes No

• If Yes, please describe:

2. Are there existing fueling facilities? Yes No

- If Yes, what type of fueling? Gas Diesel
- Was fueling authorized in the WRP/ERP permit? Yes No

Note: FDEP may be able to assist with up to 75% of the cost of installing or replacing sewage pumpout facilities through the Clean Vessel Act Program. More information at: www.dep.state.fl.us/cleanmarina/cva/

Section 7: Shoreline

Provide the linear feet of shoreline owned or controlled by the applicant: 400 feet +/-

Section 8: Certifications

Application is hereby made for modification to a Sovereignty Submerged Lands Lease to authorize the activities described herein.

1. I hereby certify that: (please check the appropriate box)
 - I am the property owner of record, lessee , or the record easement holder of the riparian upland property described in Section 3 of this application.
 - I am not , the property owner of record, lessee, or record easement holder of the riparian upland property described in Section 3 of this application.
2. I understand I may be required to provide additional information/data necessary to demonstrate reasonable assurance or evidence that the proposed activities will comply with Florida Rules and Statutes.
3. I agree to provide entry to the project site for inspectors with proper identification or documents as required by law from the Florida Department of Environmental Protection for the purpose of inspecting the site.
4. I am familiar with the information contained in this application and that to the best of my knowledge and belief, such information is true, complete and accurate. I further certify that I possess the authority to undertake the proposed activities or am acting as the duly authorized agent of the applicant. I understand that knowingly making any false statement or representation in this application is a violation of Chapter 837 Florida Statutes.

<u>Buo F. Goldsby</u>	<u>[Signature]</u>	<u>7/23/15</u>
Printed/typed name of applicant or agent	Signature of applicant or agent	Date

Printed/typed name of co-applicant	Signature of co-applicant	Date

An Agent May Sign Above if Applicant Completes the Following

I hereby designate and authorize the agent listed above to act on my behalf as my agent in the processing of this application and to furnish, on request, supplemental information in support of the application.

<u>[Signature]</u>	<u>[Signature]</u>	<u>7/23/15</u>
Printed/typed name of applicant	Signature of applicant	Date

Printed/typed name of co-applicant	Signature of co-applicant	Date

SHEET INDEX:

- SHEET 1 NOTES AND VICINITY MAP
- SHEET 2 FIELD SURVEY
- SHEET 3 DOCK DETAIL
- SHEET 4 SUBMERGED LAND LEASE SKETCH
- SHEET 5 SUBMERGED LAND LEASE DESCRIPTION
- SHEET 6 CROSS SECTIONS OF DOCKS

LEGEND

- = CONCRETE MONUMENT FOUND. (SIZE & I.D. NOTED)
- ⊗ = 5/8" IRON ROD FOUND (I.D. NOTED)
- = 5/8" CAPPED IRON ROD SET (L.B. #6639)
- ⊙ = NAIL & DISK (I.D. NOTED)
- = 1/2" IRON PIPE FOUND (NO I.D.)
- (P) = PLAT DIMENSION
- (M) = MEASURED DIMENSION
- (C) = CALCULATED DIMENSION
- (D) = DEEDED DIMENSION
- U. & D. = UTILITY & DRAINAGE
- L.B. = LICENSED SURVEYOR BUSINESS
- T.B.M. = TEMPORARY BENCH MARK
- 2.00 = DEPTH RELATIVE TO MEAN LOW WATER
- N.A.V.D. = NORTH AMERICAN VERTICAL DATUM
- (TYP.) = TYPICAL
- CONC. = CONCRETE
- I.D. = IDENTIFICATION
- EL., ELEV. = ELEVATION
- L.S. = LAND SURVEYOR
- C.M. = CONC. MONUMENT
- R/W = RIGHT-OF-WAY
- C/L = CENTER LINE
- INV. = INVERT ELEVATION

SURVEYORS NOTES:

THIS IS NOT A BOUNDARY SURVEY.

THE FIELD SURVEY WAS CONDUCTED ON 9/9/15.

THE SURVEY AS SHOWN HEREON WAS MADE WITHOUT BENEFIT OF ABSTRACT OF TITLE, AND THEREFOR THE UNDERSIGNED AND STRAYER SURVEYING AND MAPPING, INC. MAKE NO GUARANTEES OR REPRESENTATIONS REGARDING INFORMATION SHOWN HEREIN PERTAINING TO EASEMENTS, CLAIMS OF EASEMENTS, RIGHTS-OF-WAY, SETBACK LINES, OVERLAPS, BOUNDARY LINE DISPUTES, AGREEMENTS, RESERVATIONS OR OTHER SIMILAR MATTERS WHICH MAY APPEAR IN THE ABSTRACT, BUT IF THE SAME, OR ANY OF THEM ACTUALLY (IS) ARE IN EXISTENCE ON THE LAND SURVEYED, THEN IN THAT EVENT, THE SAME (IS) ARE SHOWN HEREON.

THE INFORMATION DEPICTED ON THIS MAP REPRESENTS THE RESULT OF A SURVEY PERFORMED ON THE INDICATED DATE AND CAN ONLY BE CONSIDERED AS INDICATING THE GENERAL CONDITIONS AT THAT TIME.

THIS SURVEY WAS PREPARED WITH THE BENEFIT OF A PREVIOUS SURVEY COMPLETED BY: LOMBARDO, FOLEY & KOLARIK, INC., JOB # 9771, DATED 03/19/09 AND WAS PROVIDED BY THE CLIENT.

THE APPROXIMATE MEAN HIGH WATER LINE AS SHOWN ON THIS PLAT IS NOT A TIDAL PROPERTY BOUNDARY, WAS NOT LOCATED IN ACCORDANCE WITH PROCEDURES SPECIFIED IN THE "COASTAL MAPPING ACT OF 1974" (CHAPTER 177, PART II OF THE FLORIDA STATUTES), AND THE "RULES OF THE DEPARTMENT OF NATURAL RESOURCES" (CHAPTER 16-3 OF THE FLORIDA ADMINISTRATIVE CODE) AND IS NOT TO BE USED AS, REPRESENTED TO BE, OR BE ADMISSIBLE AS A TIDAL PROPERTY LINE BEFORE ANY ADMINISTRATIVE BODY OR COURT OF LAW. THE APPROXIMATE MEAN HIGH WATER LINE HAS BEEN USED DUE TO IT BEING INCIDENTAL TO THE PURPOSE TO WHICH THIS PLAT HAS BEEN PREPARED.

THE APPROXIMATE MEAN HIGH WATER LINE ELEVATION WAS DETERMINED USING PUBLISHED INFORMATION FROM THE FLORIDA DEPARTMENT OF NATURAL RESOURCES LAND BOUNDARY INFORMATION INTERACTIVE WEBSITE. TIDE INTERPOLATION POINT NO. 393, HAVING A MEAN HIGH WATER ELEVATION OF 0.21' (N.A.V.D. 1988)

ELEVATIONS SHOWN HEREON ARE BASED ON THE N.A.V.D. 1988 VERTICAL DATUM, UNLESS OTHERWISE SPECIFIED. ELEVATIONS SHOWN HEREON ARE BASED ON A MANATEE COUNTY GIS STATION #M-107, ELEVATION 5.73' (N.A.V.D. 1988)

TIDAL DATA OBTAINED FROM THE LAND AND BOUNDARY INFORMATION SYSTEMS (LABINS.ORG) WEBSITE, TIDE INTERPOLATION POINT #393. MEAN HIGH WATER = 0.21' NAVD 88, MEAN LOW WATER -1.17' NAVD 88.

VEGETATION TYPES INDICATED WERE IDENTIFIED TO THE BEST OF ABILITY OF STRAYER SURVEYING & MAPPING. HOWEVER, A PROFESSIONAL ENVIRONMENTAL ENGINEER SHOULD BE CONSULTED FOR EXACT VEGETATION IDENTIFICATION.

BEARINGS SHOWN HEREON ARE BASED ON THE RECORD PLAT OF LONG BEACH, REPLAT OF LONG BEACH, THE SOUTH R/W LINE OF BROADWAY, BEING N.50°00'00"E.

COORDINATES SHOWN HEREON ARE BASED ON FLORIDA STATE PLANE COORDINATE SYSTEM, WEST ZONE AS REFERENCED TO NAD(83)-(2011)-(EPOCH 2010.0000) AND ARE SCALED.

SYMBOL CHARACTERS AND OR POSITIONS MAY NOT BE DEPICTED TO SCALE FOR CLARIFICATION PURPOSES.

SURVEY IS NOT VALID UNLESS ALL SHEETS (SHEET 1 TO 6) ARE PRESENT.

SPECIFIC PURPOSE SURVEY OF:

THE SUBMERGED LANDS LYING UNDER A PORTION OF SARASOTA BAY AND LYING ADJACENT TO: LOTS 1, 2, 3 AND NORTHEAST 1/2 OF LOT 4, LONG BEACH, REPLAT OF LONG BEACH, RECORDED IN PLAT BOOK 1, PAGES 306 AND 329, PUBLIC RECORDS OF MANATEE COUNTY, FLORIDA; ALSO THAT PART OF BAYSIDE DRIVE (VACATED) ADJACENT TO THE ABOVE LOTS BOUNDED ON THE NORTH BY AN EXTENSION OF THE SOUTHEASTERLY LINE OF BROADWAY TO SARASOTA BAY AND BOUNDED ON THE SOUTH BY EXTENSION OF THE SOUTHWESTERLY LINE OF LOT 4, EXTENDED TO SARASOTA BAY, TOGETHER WITH ALL RIPARIAN RIGHTS.

CERTIFIED TO:

800 BROADWAY LLC
THE BOARD OF TRUSTEES OF THE INTERNAL
IMPROVEMENT TRUST FUND OF THE STATE OF FLORIDA

REVISION:

09/10/15: UPDATED MHWL PER FIELD VISIT

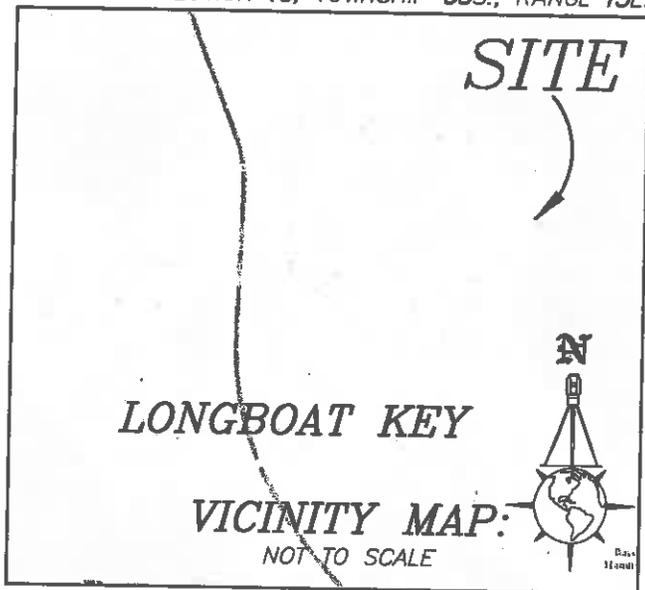
THIS SURVEY WAS PREPARED IN ACCORDANCE WITH THE "STANDARDS OF PRACTICE FOR SURVEYS" SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS & MAPPERS IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES, AND IS NOT INTENDED TO MEET ANY OTHER MUNICIPAL OR NATIONAL STANDARD OR REQUIREMENT UNLESS NOTED.

STRAYER SURVEYING & MAPPING, INC.
LICENSED SURVEYOR BUSINESS NO. 6639

RUSSELL S. STRAYER
FLORIDA SURVEYOR & MAPPER REG'N NO. 6890

"NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER."

SECTION 15, TOWNSHIP 35S., RANGE 15E.



SHEET 1 OF 6

FILE #14-11-59-SSL

742 Shamrock Boulevard
Venice, Florida 34293
(941) 496-9488
(941) 624-4900
Fax (941) 497-6186

DATE OF FIELD SURVEY

12/01/2014, 09/09/2015

FIELD BOOK: 627,660

PAGE: 60-61,26

CHECKED BY: R.S.S.

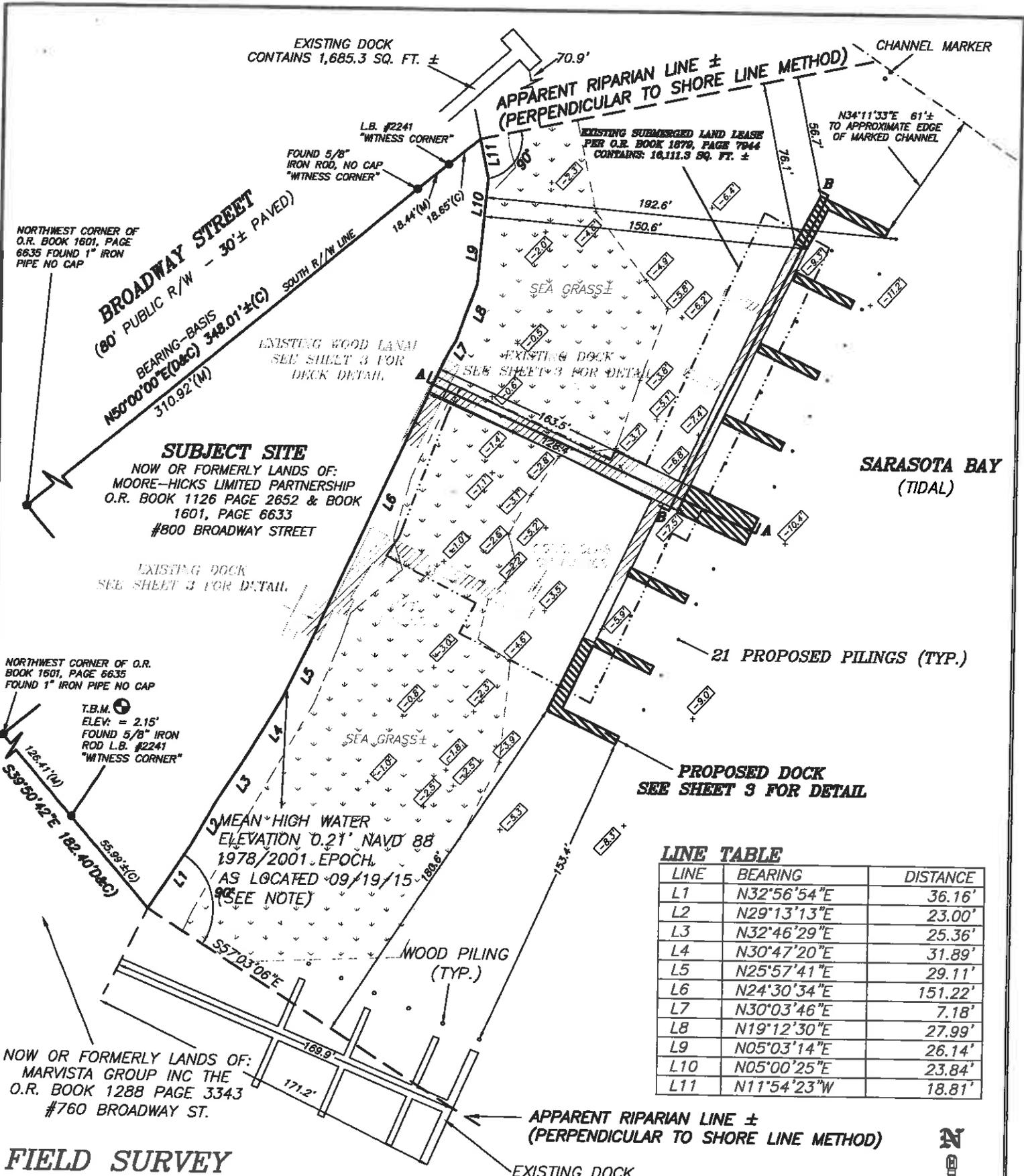
DRAWN BY: M.S.P.

FILE #: 14-11-59-SSL



www.strayersurveying.com

FILE #14-11-59-SSL SHEET 1 OF 6



BROADWAY STREET
 (80' PUBLIC R/W - 30'± PAVED)
 BEARING-BASIS
 N50°00'00"E(D&C) 348.01'±(C)
 310.92'(M)

SUBJECT SITE
 NOW OR FORMERLY LANDS OF:
 MOORE-HICKS LIMITED PARTNERSHIP
 O.R. BOOK 1126 PAGE 2652 & BOOK
 1601, PAGE 6633
 #800 BROADWAY STREET

NORTHWEST CORNER OF
 O.R. BOOK 1601, PAGE
 6635 FOUND 1" IRON
 PIPE NO CAP

NORTHWEST CORNER OF O.R.
 BOOK 1601, PAGE 6635
 FOUND 1" IRON PIPE NO CAP

T.B.M.
 ELEV. = 2.15'
 FOUND 5/8" IRON
 ROD L.B. #2241
 "WITNESS CORNER"

MEAN HIGH WATER
 ELEVATION 0.21' NAVD 88
 1978/2001 EPOCH
 AS LOCATED 09/19/15
 (SEE NOTE)

NOW OR FORMERLY LANDS OF:
 MARVISTA GROUP INC THE
 O.R. BOOK 1288 PAGE 3343
 #760 BROADWAY ST.

EXISTING DOCK
 CONTAINS 1,685.3 SQ. FT. ±

APPARENT RIPARIAN LINE ±
 (PERPENDICULAR TO SHORE LINE METHOD)

EXISTING SUBMERGED LAND LEASE
 PER O.R. BOOK 1879, PAGE 7944
 CONTAINS 16,111.3 SQ. FT. ±

EXISTING WOOD LANAI
 SEE SHEET 3 FOR
 DECK DETAIL.

EXISTING DOCK
 SEE SHEET 3 FOR DETAIL.

EXISTING DOCK
 SEE SHEET 3 FOR DETAIL.

PROPOSED DOCK
 SEE SHEET 3 FOR DETAIL

21 PROPOSED PILINGS (TYP.)

WOOD PILING
 (TYP.)

APPARENT RIPARIAN LINE ±
 (PERPENDICULAR TO SHORE LINE METHOD)

EXISTING DOCK
 CONTAINS 1,685.3 SQ. FT. ±

LINE TABLE

LINE	BEARING	DISTANCE
L1	N32°56'54"E	36.16'
L2	N29°13'13"E	23.00'
L3	N32°46'29"E	25.36'
L4	N30°47'20"E	31.89'
L5	N25°57'41"E	29.11'
L6	N24°30'34"E	151.22'
L7	N30°03'46"E	7.18'
L8	N19°12'30"E	27.99'
L9	N05°03'14"E	26.14'
L10	N05°00'25"E	23.84'
L11	N11°54'23"W	18.81'

FIELD SURVEY

SHEET 2 OF 6

FILE #14-11-59-SSL

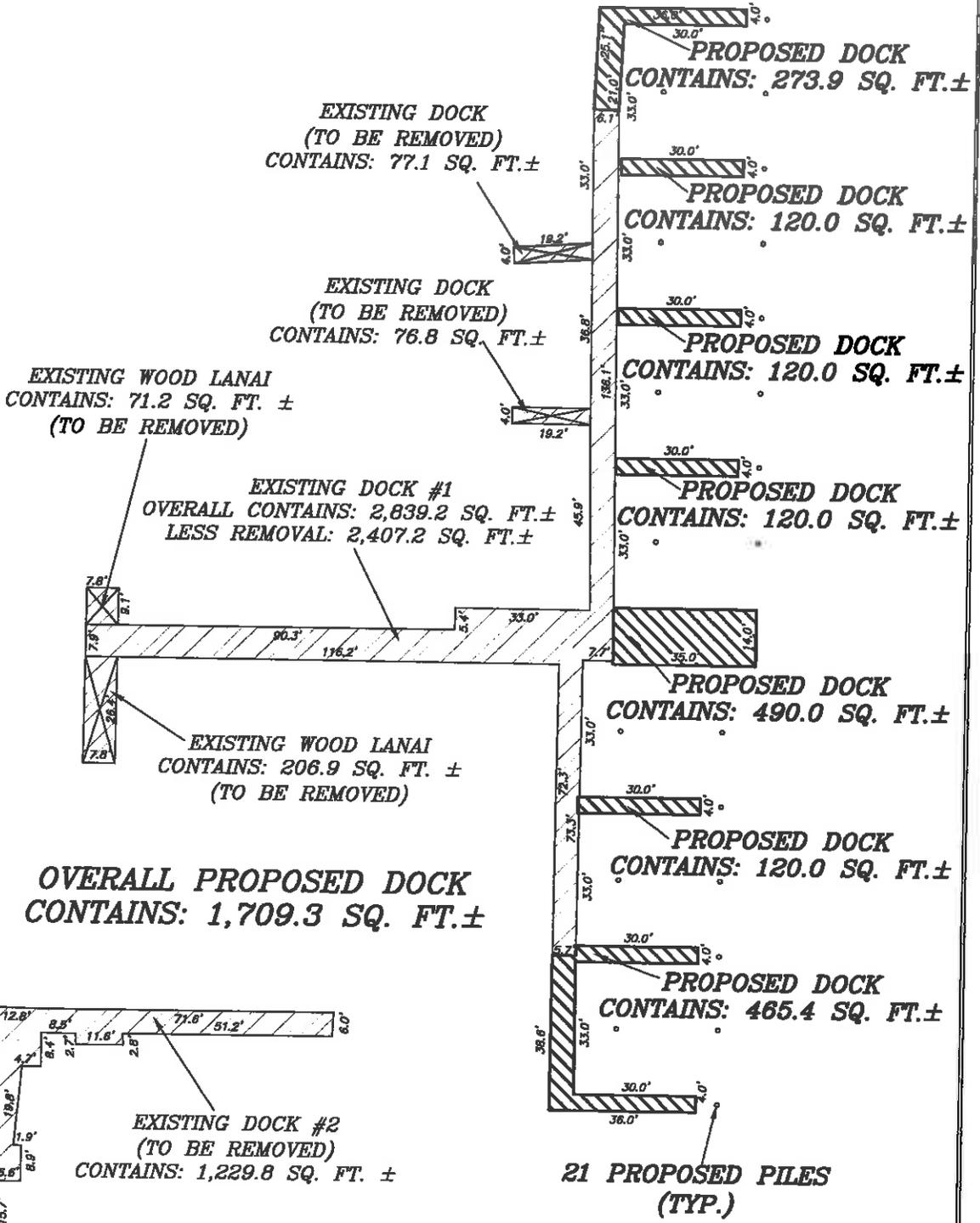
742 Shamrock Boulevard
 Venice, Florida 34293
 (941) 496-9488
 (941) 624-4900
 Fax (941) 497-6186

EST. 1987
STRAYER
 SURVEYING & MAPPING, INC.

www.strayersurveying.com

SCALE 1" = 60'





NOTE: ELEVATION OF PROPOSED DOCK IS 8.0' AT UPLAND ACCESS AND 4.0' AT TERMINAL PLATFORM PER CLIENT

DOCK DETAIL

SHEET 3 OF 6

FILE #14-11-59-SSL

742 Shamrock Boulevard
Venice, Florida 34293
(941) 496-9488
(941) 624-4900
Fax (941) 497-6186

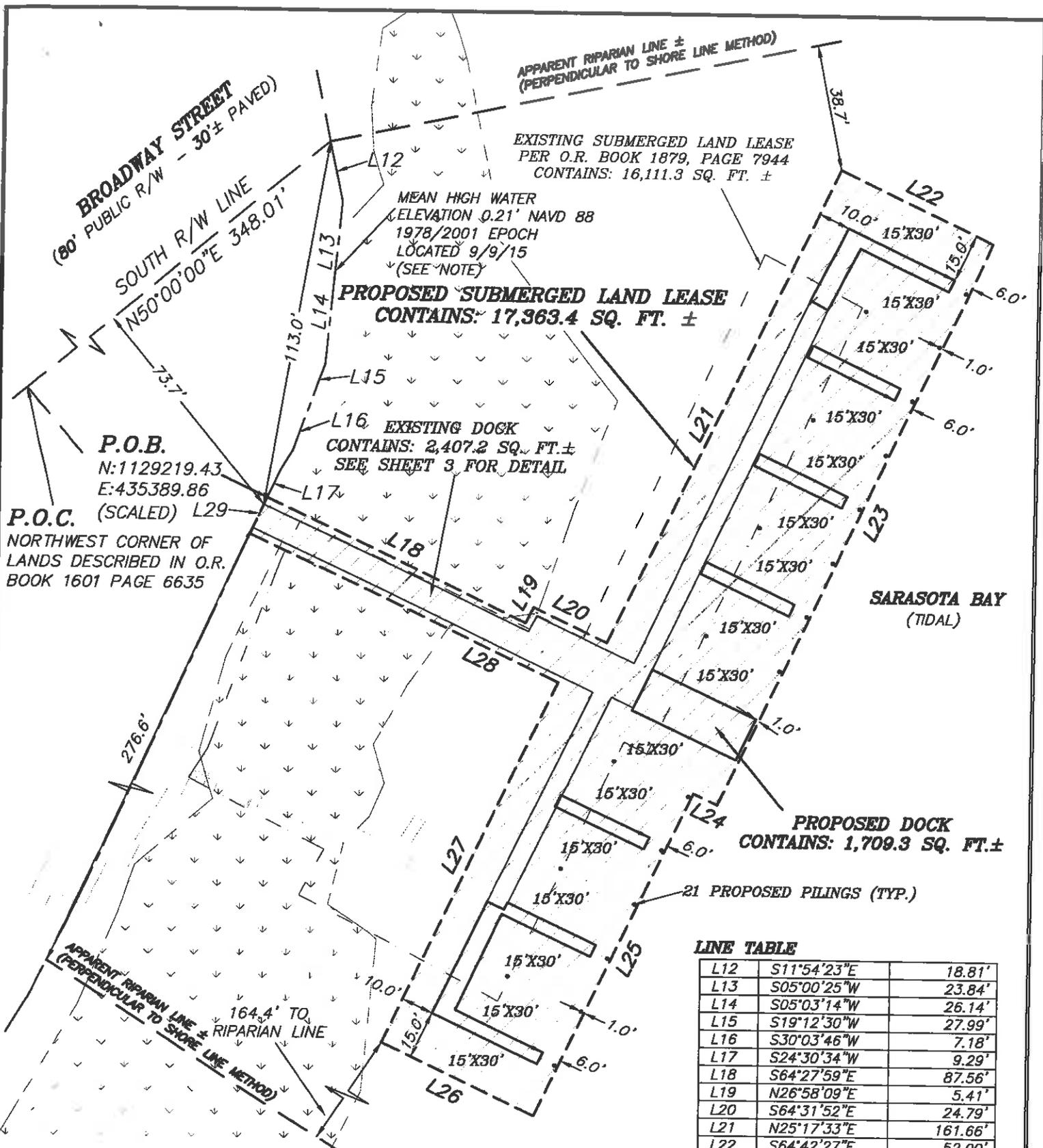
EST. 1987
STRAYER
SURVEYING & MAPPING, INC.

www.strayerurveying.com

SHORELINE TABULATIONS
SHORELINE ALONG LEASE AREA: 10' ± RIP-RAP

SCALE 1" = 40'





LINE TABLE

L12	S11°54'23"E	18.81'
L13	S05°00'25"W	23.84'
L14	S05°03'14"W	26.14'
L15	S19°12'30"W	27.99'
L16	S30°03'46"W	7.18'
L17	S24°30'34"W	9.29'
L18	S64°27'59"E	87.56'
L19	N26°58'09"E	5.41'
L20	S64°31'52"E	24.79'
L21	N25°17'33"E	161.66'
L22	S64°42'27"E	52.00'
L23	S25°17'33"W	192.00'
L24	N64°42'27"W	8.00'
L25	S25°17'33"W	111.00'
L26	N64°42'27"W	52.00'
L27	N25°17'33"E	123.89'
L28	N64°37'56"W	104.34'
L29	N24°30'34"E	12.35'

SUBMERGED LAND LEASE

SHEET 4 OF 6

FILE #14-11-59-SSL

742 Shamrock Boulevard
Venice, Florida 34293
(941) 496-9488
(941) 624-4900
Fax (941) 497-6186

EST. 1987
STRAYER
SURVEYING & MAPPING, INC.

www.strayersurveying.com

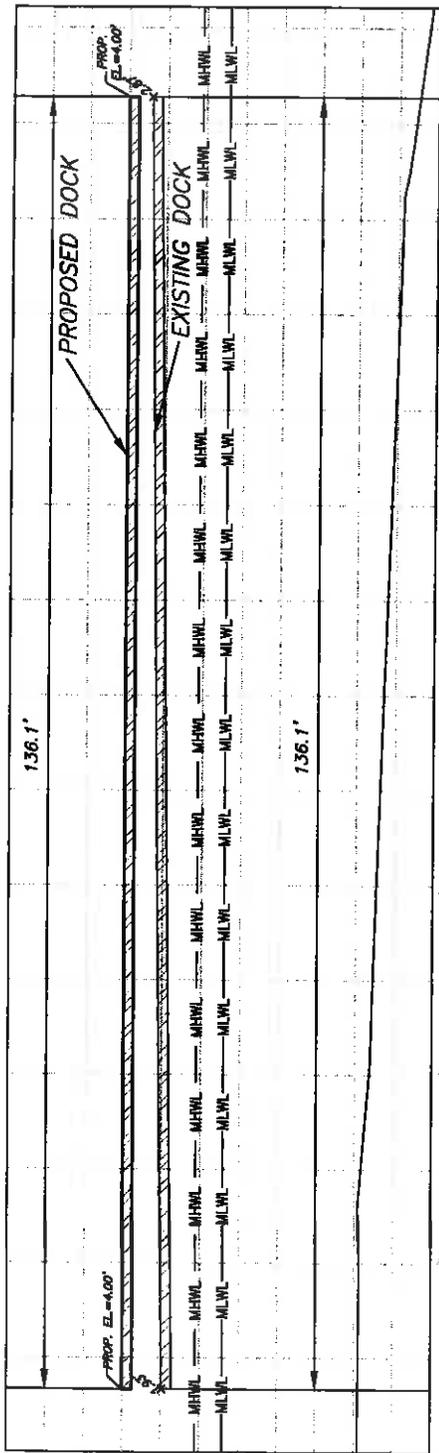


SCALE 1" = 40'

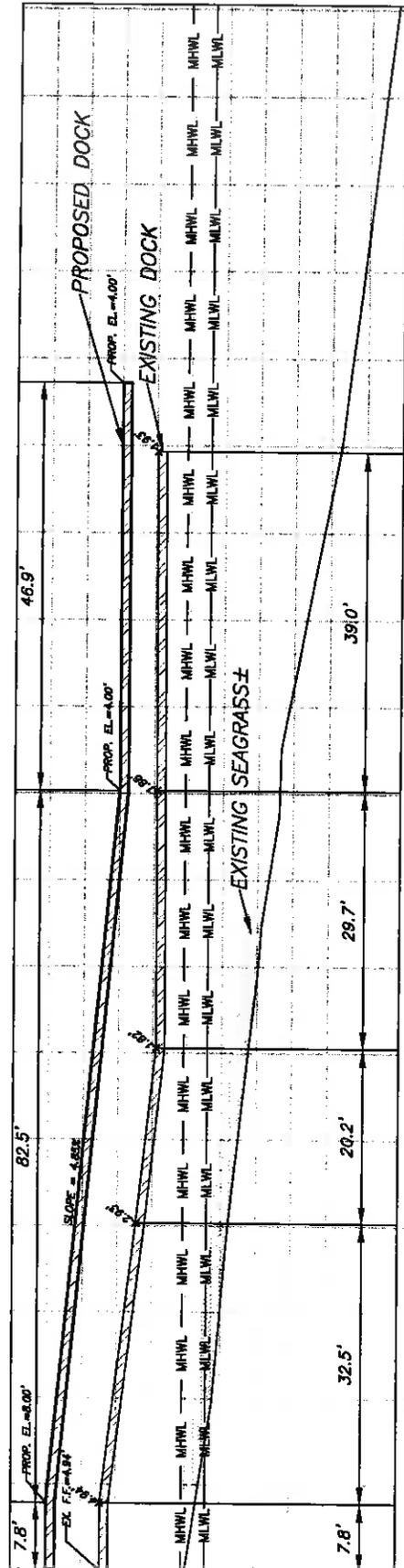


TERMINAL PLATFORM EAST

TERMINAL PLATFORM



PROFILE OF TERMINAL PLATFORM
 Horizontal Scale = 1 : 20
 Vertical Scale = 1 : 10
 "B-B"



PROFILE FROM UPLAND ACCESS TO TERMINAL PLATFORM
 Horizontal Scale = 1 : 20
 Vertical Scale = 1 : 10
 "A-A"

TERMINAL PLATFORM WEST
 PROFILE

SHEET 6 OF 6

FILE #14-11-59-SSL

742 Shamrock Boulevard
 Venice, Florida 34293
 (941) 496-9488
 (941) 624-4900
 Fax (941) 497-6188

EST. 1987
STRAYER

SURVEYING & MAPPING, INC.

www.strayersurveying.com

UPLAND ACCESS

K:\A\141159-SSL-090-918\2015-2\10-10-15

2

Prepared by and return to:
Louis Justin Najmy
Attorney at Law
Najmy Thompson, P.L.
1401 8th Avenue West
Bradenton, FL 34205
File Number: 2179

Parcel Identification No. 77661000007

[Space Above This Line For Recording Data]

Warranty Deed

(STATUTORY FORM - SECTION 689.02, F.S.)

This Indenture made this 7th day of July, 2015 between Moore-Hicks Limited Partnership, a Florida limited partnership whose post office address is 800 Broadway Street, Longboat Key, FL 34228 of the County of Manatee, State of Florida, grantor*, and 800 BROADWAY, LLC, a Florida limited liability company whose post office address is 465 John Ringling Blvd., Sarasota, FL 34236 of the County of Sarasota, State of Florida, grantee*,

Witnesseth that said grantor, for and in consideration of the sum of TEN AND NO/100 DOLLARS (\$10.00) and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained, and sold to the said grantee, and grantee's heirs and assigns forever, the following described land, situate, lying and being in Manatee County, Florida, to-wit:

Lots 1, 2, 3 and NE 1/2, of Lot 4, Block 1, LONG BEACH, REPLAT OF LONG BEACH, recorded in Plat Book 1, Pages 306 and 329, Public Records of Manatee County, Florida; ALSO that part of Bayside Drive (vacated) adjacent to the above lots bounded on the North by an extension of the Southeasterly line of Broadway to Sarasota Bay and bounded on the South by extension of the Southeasterly line of Lot 4, extended to Sarasota Bay.

and said grantor does hereby fully warrant the title to said land, and will defend the same against lawful claims of all persons whomsoever.

* "Grantor" and "Grantee" are used for singular or plural, as context requires.

In Witness Whereof, grantor has hereunto set grantor's hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:

Moore-Hicks Limited Partnership, a Florida limited partnership

By: Moore-Hicks, Inc., as General Partner

By: Alan Moore
Alan Moore, President

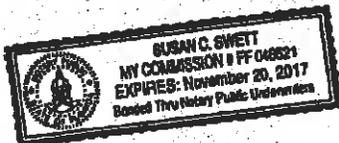
Christina Jagan
Witness Name: CHRISTINA JAGAN

Susan C. Smith
Witness Name: SUSAN C. SMITH

State of Florida
County of Manatee

The foregoing instrument was acknowledged before me this 7th day of July, 2015 by Alan Moore, President of Moore-Hicks, Inc., as General Partner, on behalf of the corporation for Moore-Hicks Limited Partnership, a Florida limited partnership. He/she is personally known to me or has produced a driver's license as identification.

[Notary Seal]



Susan C. Swett
Notary Public

Printed Name: SUSAN C. SWETT

My Commission Expires: _____



Detail by Entity Name

Florida Limited Liability Company

800 BROADWAY, LLC

Filing Information

Document Number	L15000075311
FEI/EIN Number	NONE
Date Filed	04/29/2015
State	FL
Status	ACTIVE

Principal Address

465 JOHN RINGLING BOULEVARD
SARASOTA, FL 34236

Mailing Address

465 JOHN RINGLING BOULEVARD
SARASOTA, FL 34236

Registered Agent Name & Address

COHEN, DAVID S, ESQUIRE
5728 MAJOR BOULEVARD
SUITE 550
ORLANDO, FL 32819

Authorized Person(s) Detail

Name & Address

Title MGR

LEONARD, GREGORY T
465 JOHN RINGLING BOULEVARD
SARASOTA, FL 34236

Annual Reports

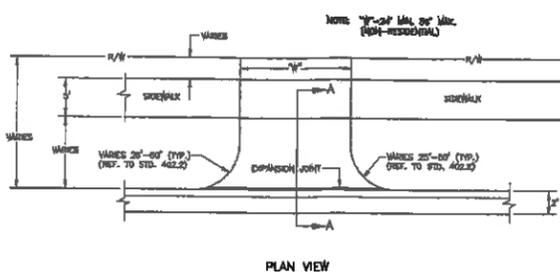
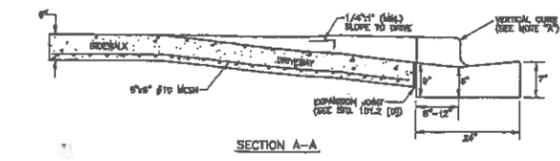
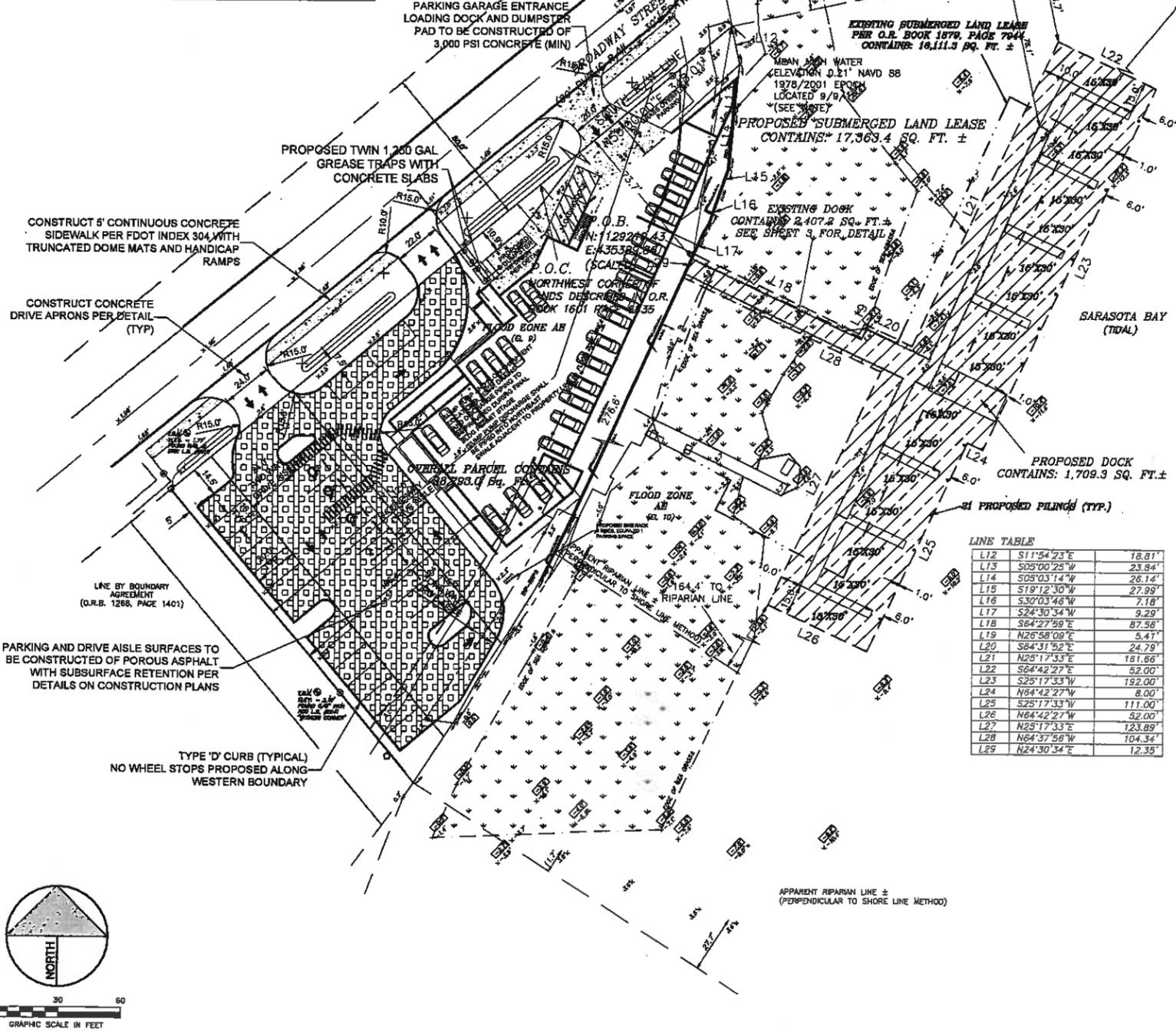
No Annual Reports Filed

Document Images

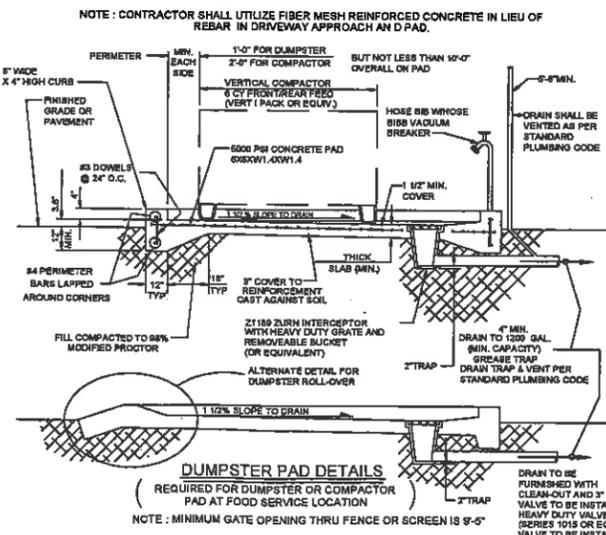
LOT SIZE BUILDABLE: 38,789.00 square feet, as supported by subdivided signed/survey.

LOT COVERAGE CALCULATIONS (30% Maximum)			
ITEM/DESCRIPTION	Area	EXISTING	THIS PERMIT
NON-POOLSPA AREAS			
BUILDINGS AND STRUCTURES (from exterior walls/enclosure)	1	7,242.59	11,117
FRONT ENTRY AND FRONT STAIRS (beaded and unbeaded)	2	300	100
REAR ENTRY AND REAR STAIRS (beaded and unbeaded)	3	0	0
ROOFED PORCH / DECKING	4	0	0
RAISED DECK OR TERRACE (4" slope finished grade)	5	2,888.89	0
TOTAL LOT COVERAGE SQUARE FOOTAGE (sum of "existing", "this permit", and "by others" in Rows 1-5)	6		11,325 Sq. Ft.
TOTAL LOT COVERAGE PERCENTAGE	7		29.19%

NON-OPEN SPACE CALCULATIONS (80% Maximum)			
ITEM/DESCRIPTION	Area	EXISTING	THIS PERMIT
AT-GRADE IMPROVEMENTS			
DRIVEWAY/PARKING AREAS (see note above plan) (all surface types)	8	21,743	15,630
PERMEABLE PATIOS, SLABS, ETC. (permeable pad)	9	1,275	552
IMPERMEABLE POOL DECK (see grade)	10	1,824	0
POOLSPA SHELL (see grade)	12	0	0
MECHANICAL EQUIPMENT PADS (see A/C, pool) (see grade)	13	0	0
OTHER IMPERMEABLE SURFACE/OUTDOOR SEATING AREA (see grade)	14	0	0
TOTAL AT-GRADE SQUARE FOOTAGE (sum of "existing", "this permit", and "by others" in Rows 8-14)	15		18,232 Sq. Ft.
TOTAL LOT COVERAGE & NON-OPEN SPACE SQUARE FOOTAGE (Rows 6 + 15)	16		30,058 Sq. Ft.
TOTAL LOT COVERAGE & NON-OPEN SPACE PERCENTAGE	17		77.52%



- IF REPLACED VERTICAL CURB AND GUTTER, REPLACE WITH 4" HIGH CURB AND GUTTER.
- NO CHANGE WITH 3" VALLEY CROSSING.
- SIDEWALK CONSTRUCT WITH 6" CONCRETE, 6"x6" #10 MESH, 3000 PSI AT 28 DAYS.
- DRIVEWAY CONSTRUCTED WITH 6" CONCRETE WITH 6"x6" #10 MESH, 3000 PSI AT 28 DAYS.
- EXPANSION JOINT 1/2" PREFORMED JOINT FILLER PER FOOT SECTION #32-1.1 OR APPROVED ALTERNATE.
- IF DRIVE IS WIDER THAN 12', ADD JOINTS AT 10' CENTERS.
- IF SIDEWALK ON LOCAL STREETS, 6" SIDEWALK ON THOROUGHFARES. (MINED USE PATHS MAY REQUIRE 6" SIDEWALKS PER LAND DEVELOPMENT CODE.)



NOTE: REFER TO LANDSCAPE PLAN FOR BUFFER PLANTINGS, FENCE AND RETAINING WALL LOCATIONS, HEIGHTS, TYPES OF MATERIALS AND CROSS SECTIONS.

EXISTING RESTAURANT CONTAINS 10,108 SF (GFA)
 PROPOSED RENOVATION/REMODEL INCLUDES 31,157 SF (ONE LEVEL ABOVE GARAGE)

PARKING CALCULATIONS:

REQUIRED PARKING SPACES UNDER SECTION 158.128 OF THE ZONING CODE

RENOVATED RESTAURANT CONTAINING 185 SEATS
 (REQUIRED PARKING = 1 SPACE PER 4 SEATS):

PARKING REQD = 185 SEATS X 1 SPACES/4 SEATS
 = 47 PARKING SPACES REQUIRED

TOTAL PARKING REQD = 47 PARKING SPACES (INCLUDES 3 HANDICAP SPACES)

TOTAL PARKING PROVIDED:
 55 PARKING SPACES PROVIDED ON-SITE (28 GARAGE, 28 REGULAR INCLUDING 3 HC, AND 1 GRASS OVERFLOW)

1022 S. 13th Avenue, Suite 101, Sarasota, FL 34233
 Phone: 941.554.1111
 Fax: 941.554.1112

LTA ENGINEERS, LLC
 Civil Engineers & Land Planners

Project No.: 248241.18

DATE: 07/2018
 SCALE: SEE BOULE
 DRAWN BY: LTB
 CHECKED BY: LTB

SHORE AT LONGBOAT KEY
 Town of Longboat Key, FL
 Sec. 15, Twp. 35 S., Rge. 16 E. Manatee County, Florida

SITE PLAN

2A
 OF: 4

SPECIAL EXCEPTION PLAN FOR SHORE RESTAURANT Town of Longboat Key, Florida

SECTION 15, TOWNSHIP 35S, RANGE 16E

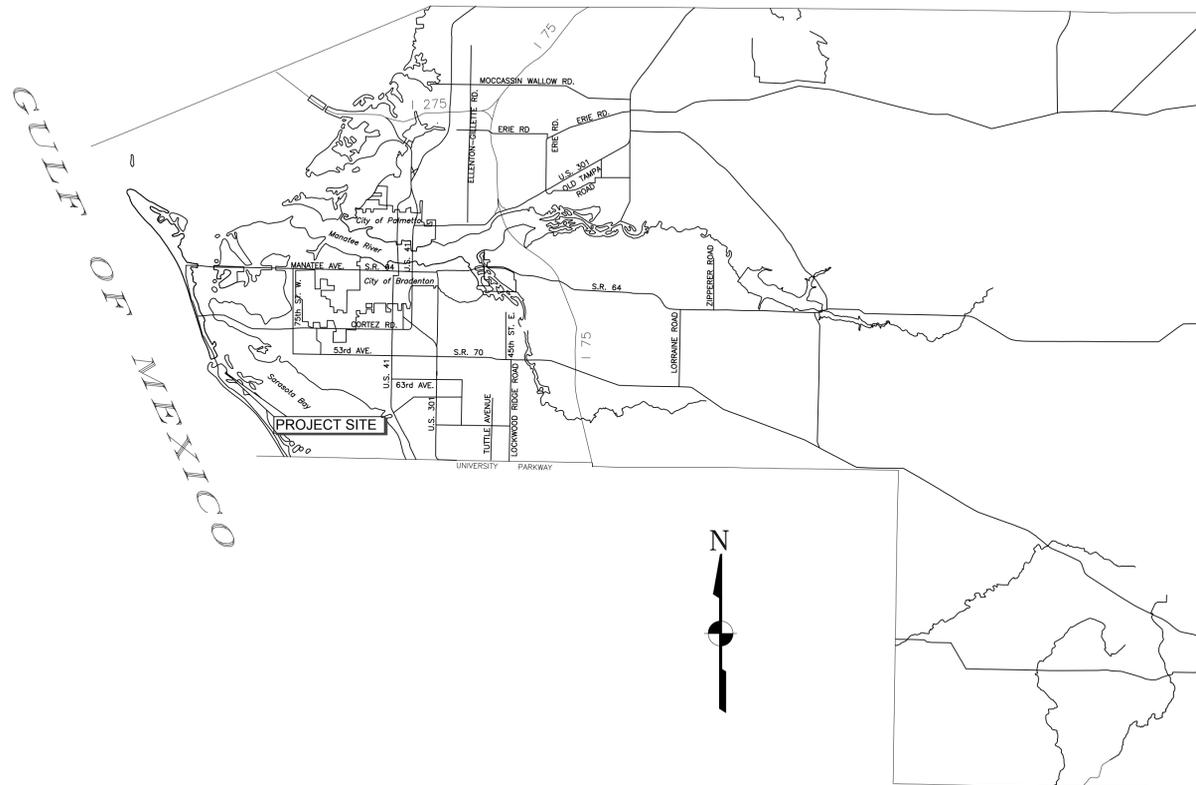
MANATEE COUNTY, FLORIDA



DESCRIPTION:

LOTS 1, 2, 3 AND THE NORTHEAST 1/2 OF LOT 4 BLOCK 1, LONGBEACH, REPLAT OF LONG BEACH AND HTE SUBMERGED LANDS ADJACENT THERETO, AS RECORDED IN PLAT BOOK 1, PAGE 306, OF THE PUBLIC RECORDS OF MANATEE COUNTY, FLORIDA.

NOTE:
EXISTING INFORMATION TAKEN FROM A SURVEY
PREPARED BY STRAYER SURVEYING & MAPPING, INC.

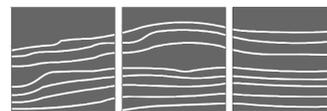


VICINITY MAP

JULY 2015

SHEET INDEX

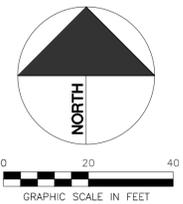
SHT. NO.	CONTENTS
0	COVER SHEET
1	EXISTING CONDITIONS PLAN W/ AERIAL OVERLAY
2	SITE PLAN
3	LANDSCAPE, BUFFER & SCREENING PLAN
4	STORMWATER, SOIL EROSION & SEDIMENTATION PLAN
ESL-1	LIGHTING PLAN
ESL-2	PROPOSED FIXTURE SECTIONS



LTA Engineers, LLC

2004 53rd Avenue East, Bradenton, FL 34203
Phone 941.756.9100
Fax 941.756.9119



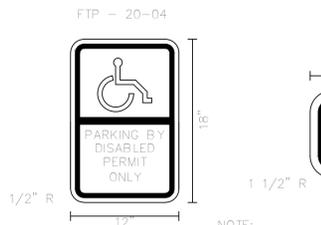
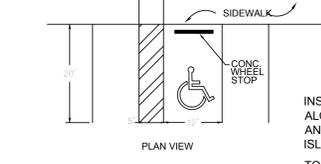


CONSTRUCT TREATMENT SWALES ADJACENT TO R/W TO CAPTURE RUNOFF FROM SITE SURFACE AREAS (PER DETAIL THIS SHEET)

MATCH EX. GRADE AT PROPERTY LINE (TYP)

LINE BY BOUNDARY AGREEMENT (O.R.B. 1268, PAGE 1401)

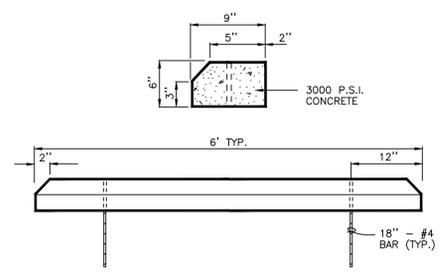
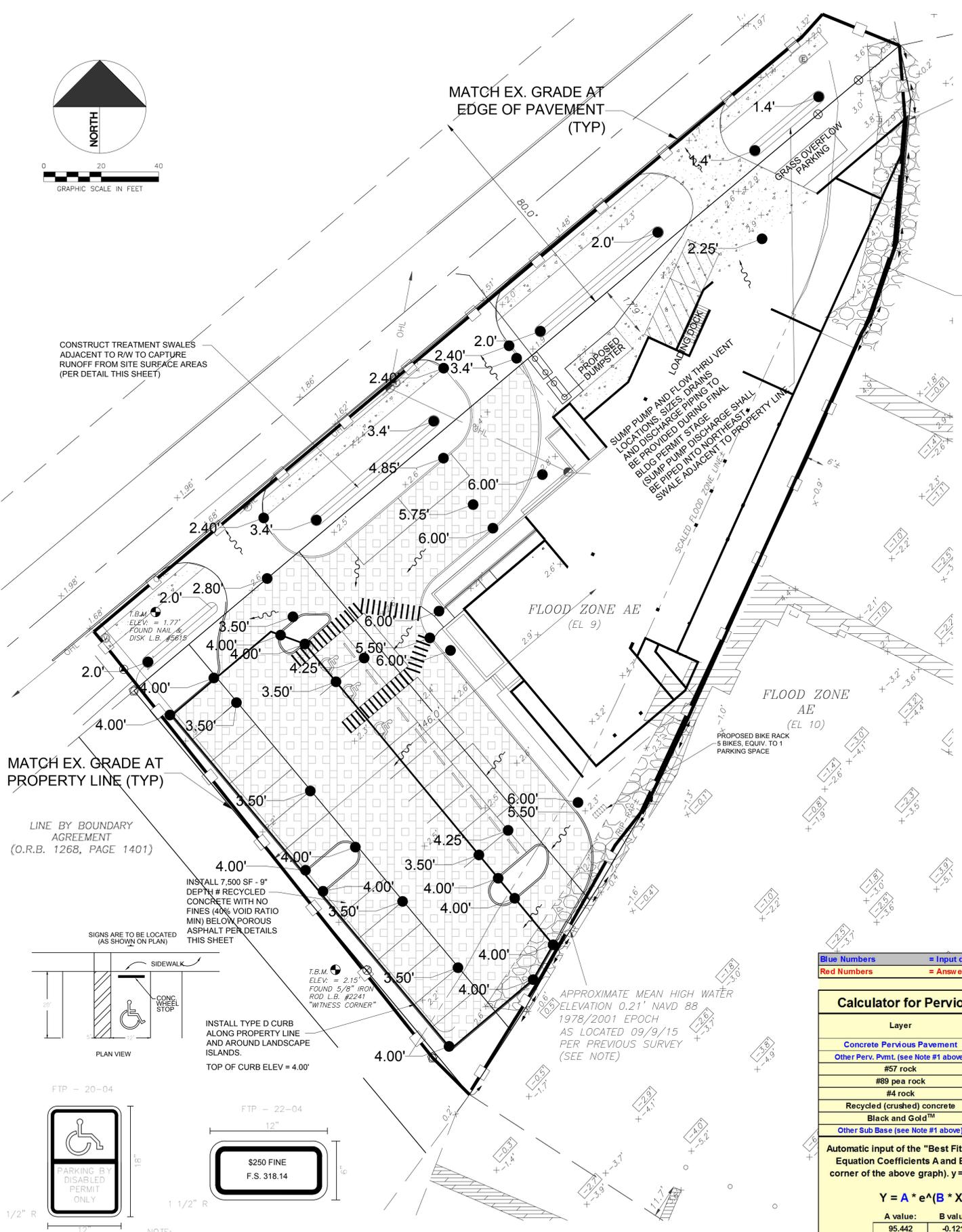
SIGNS ARE TO BE LOCATED (AS SHOWN ON PLAN)



NOTE: SIGNAGE AND MARKINGS TO COMPLY WITH FDOT STANDARDS INDEX #17355

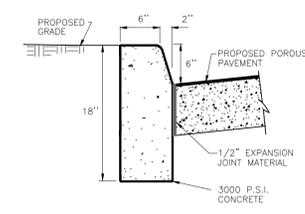
HANDICAP SIGN DETAIL
N.T.S.

MATCH EX. GRADE AT EDGE OF PAVEMENT (TYP)



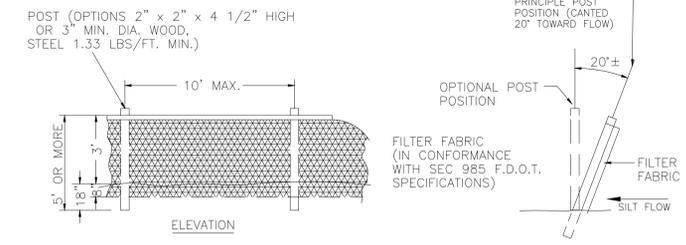
WHEEL STOP DETAIL
N.T.S.

NOTE: WHEEL STOPS SHALL BE LOCATED 4' FROM END OF PARKING STALLS ADJACENT TO PARALLEL PARKING SPACES

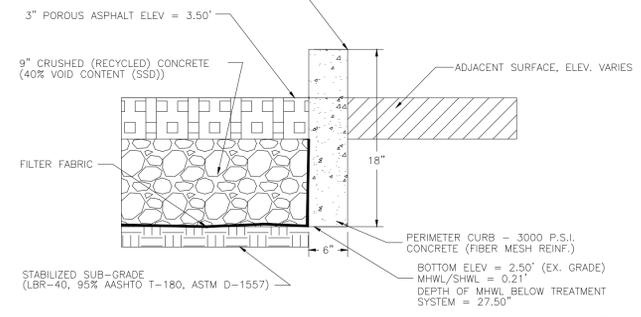


TYPE 'D' CURB DETAIL
N.T.S.

SILT FENCE TO BE INSTALLED AROUND ENTIRE PERIMETER OF PROPERTY AND MAINTAINED ON A DAILY BASIS DURING THE COURSE OF CONSTRUCTION.



TYPICAL SILT FENCE
N.T.S.



POROUS ASPHALT SYSTEM
N.T.S.

WATER QUALITY CALCULATIONS:
REQUIRED VOLUME = 0.75" x SITE AREA
0.75" x 38,793 = 2,425 C.F.

Blue Numbers = Input data
Red Numbers = Answers

CLICK TO GO BACK TO DATA

Layer	Thickness (in)	SUSTAINABLE Void Space (%)	Storage (in)
Concrete Pervious Pavement	0	20	0
Other Perv. Pvmt. (see Note #1 above)	3	16	0.48
#57 rock	9	40	3.6
#89 pea rock	0	25	0
#4 rock	0	30	0
Recycled (crushed) concrete	0	25	0
Black and Gold™	0	9	0
Other Sub Base (see Note #1 above)	0	20	0

Automatic input of the "Best Fit" Exponential Equation Coefficients A and B (lower left corner of the above graph). $y = C$ and $x = S'$

$Y = A * e^{(B * X)}$

A value: 95.442 B value: -0.1217

$S' = 4.08$
 $CN = 71$
 $C = 0.58$

VOL REQ'D = 2425 CF
SURFACE AREA REQ'D = 7132 SF OF INFILTRATION TRENCH @ 9 INCH DEPTH OF STONE RECHARGE BED
SURFACE AREA PROVIDED = 7500 SF OF INFILTRATION TRENCH @ 9 INCH DEPTH OF STONE RECHARGE BED
VOL PROVIDED = 2550 CF

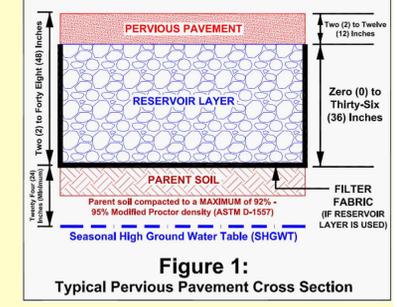
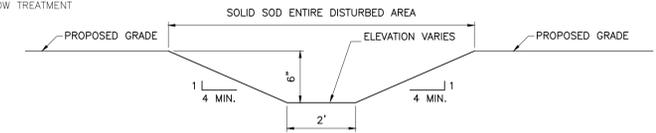


Figure 1:
Typical Pervious Pavement Cross Section

GENERAL NOTES:

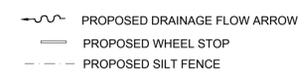
- WHEEL STOPS SHALL BE PROVIDED FOR EACH PARKING SPACE. THE STOPPING EDGE OF THE WHEEL STOP SHALL BE PLACED NO CLOSER THAN TWO FEET FROM THE EDGES OF THE REQUIRED SIDEWALKS, PLANTER OR LANDSCAPE AREAS AND FROM BUILDING.
- THE TWO FEET BEYOND THE WHEEL STOP MAY BE PAVED, SHELL OR LANDSCAPED WITH GROUND COVER.
- THE WHEEL STOP SHALL BE SECURED TO THE GROUND OR PARKING AREA SURFACE.
- THE WHEEL STOP SHALL BE COLOR DISTINCTIVE FROM THE PARKING SURFACE.
- UTILITY PROVIDERS AND CONTRACTORS SHALL UPGRADE EXISTING WATER METERS AND SERVICE TO RESTAURANT, DINING AREAS AND PROVIDE SUFFICIENT SERVICE TO RESTAURANT, DINING AREAS AND OF CONSTRUCTION.
- ELECTRICAL SERVICE SHALL BE UPGRADED AS NEEDED TO ACCOMMODATE ADDITIONS TO MECHANICAL / EQUIPMENT ROOM AND GUTTERS AND DOWNSPOUTS SHALL BE PROVIDED ON ENTIRE ROOF STRUCTURE. DOWNSPOUTS TO BE DIRECTED INTO DRAINAGE SYSTEMS. ONSITE.
- DETAILED CALCULATIONS SHALL BE PROVIDED AT TIME OF BLDG PERMIT
- ALL EXTERIOR FURNITURE AND/OR CANOPIES SHALL BE REMOVABLE @ 75MPH.



TYPICAL SWALE SECTION
N.T.S.

CONSTRUCTION NOTES:

- EXISTING DRIVEWAYS WITHIN LIMITS OF R/W TO BE RECONSTRUCTED WITH CONCRETE.
- EXISTING SHELL TO BE REMOVED AT ENTRANCES AND REPLACED WITH 6" FIBERMESH CONCRETE (3,000 PSI). EXISTING SHELL DRIVES AND PARKING AREAS RECONSTRUCTED OF CONCRETE OR SHALL BE SLOPED TO DRAIN TO PROPOSED SWALES.
- ALL PARKING AND DRIVEWAY SURFACES SHALL BE COMPACTED TO 98% DENSITY.
- CONCRETE APRONS AT ENTRANCES SHALL BE CONSTRUCTED IN ACCORDANCE WITH MANATEE COUNTY DETAIL 101.3



SURVEY NOTES:
1. EXISTING INFORMATION TAKEN FROM A SURVEY PREPARED BY STRAYER SURVEYING AND MAPPING, INC.
2. ALL EXISTING AND PROPOSED SPOT ELEVATIONS SHOWN HEREON ARE BASED DATUM NAVD88.

CADD File: Shore Site Plan 9-2015.dwg
Shore Site Plan 9-2015.dwg
Date: 02/20/15
SCALE: 1" = 20'
Drawn By: LTB
Checked By: LTB
Project No.: 443010115

1922 53rd Avenue East
Bradenton, FL 34203
Phone 941 756 9100
Fax 941 756 9119
LTA ENGINEERS, LLC
Civil Engineers & Land Planners

This document, together with the herein, as an instrument of service, is intended only for the specific purpose and client for which it was prepared. It is not to be used for any other purpose without the express written authorization and adaptation of the original drawings. LTA Engineers, LLC. Public entities are exempt from this copyright.

NO.	REVISION	DATE	BY	LB	REVISION PER STATE COMMENTS
1		9/15/15			

SHORE AT LONGBOAT KEY
Town of Longboat Key, FL
Sec. 15, Twp. 35 S., Rge 16 E. Manatee County, Florida
STORMWATER, SOIL EROSION & SEDIMENTATION PLAN

