



Planning, Zoning & Building Department (941) 316-1966
 501 Bay Isles Road
 Longboat Key, Florida 34228
 Fax Number: (941) 373-7938
 Web: <http://www.longboatkey.org>

RECEIVED
 SEP 22 2015
 Longboat Key
 Planning & Zoning

APPLICATION FOR SITE PLAN REVIEW

Date: SEPT 21, 2015 New _____ Revised X

Name of Development: SHORE RESTAURANT - 800 BROADWAY ST.

	Applicant	Engineer/Surveyor	Architect / AGENT
Name	800 BROADWAY LLC	LTA ENGINEERING LLC	PETER M. DAILEY
Address	465 JOHN RINGLING	1922 53RD AVE EAST	3941 BUTLER AVE
City, State Zip	#200 SARASOTA FL 34236	BRADENTON FL 34203	SARASOTA FL 34234
Phone	707-489-6001	941-756-9100	941-302-1500
Fax		941-986-9119	
Mobile	407-489-6001	941-526-3375	941-302-1500

Owner: 800 BROADWAY LLC, TOM LEONARD Agent: PETER M. DAILEY

Site Address: 800 BROADWAY ST LONGBOAT KEY FL 34228

Zoning District: C-1 Sq. Ft. of Site: _____ % Lot Coverage: _____

Total Units: _____ Proposed Density: _____

% Non-Open Space: _____ Max. Density Allowed: _____

(Circle One)	Building	Building Use	Sq. Ft.	Height	# Floors	1 st Floor Elev.
Existing (New)	Building A	INDOOR SEATING / DINING	2246	12'	1	
Existing (New)	Building B	BAR	487	12'	1	
Existing (New)	Building C	KITCHEN / COOKER	2445	12'	1	
Existing (New)	Building D	RETAIL	1602	12'	1	
Existing (New)	Building E	OUTDOOR DINING / WAITING	3502	12'	1	
<u>NEW</u>	Building	STORAGE / PLANTERS / BATHROOMS / HALLWAYS	1527	10'	1	

Parking Spaces Required: 41 Parking Spaces Indicated: 56

- Please check all that apply:
- Attached hereto are the necessary approvals of the federal, state, county and regional agencies.
 - Public Hearing Required. If hearing required, comment: _____
 - Proposed site plan complies with the Comprehensive Plan and Zoning Code.
 - Proposed site plan complies with the Subdivision Ordinance and Town Code.

Amount of Performance Bond Required: _____
 Amount of Maintenance Bond Required: _____

Date of Pre-application Meeting: Aug 26, 2015

APPLICATION FOR SITE PLAN REVIEW

Page 2

I hereby certify that I have read and examined this application and know the same to be true and correct. All provisions of laws and ordinances governing the subject type of development will be complied with whether specified herein or not, the granting of a permit does not presume to give authority to violate or cancel the provisions of any other federal, state or local law regulating construction or the performance of construction.

Applicant's Signature:  _____
(if applicant is not the property owner, a property owner affidavit will be required)

Date: 7/27/15

At the conclusion of your plan review by the Town, you will be billed for additional staff time, Town Attorney cost, cost of advertising, and any other miscellaneous costs incurred with the processing of your application(s).

FOR STAFF USE ONLY

Application Fee: \$ 3000.00 deposit* Receipt # _____
(Application fee will be deducted from deposit)

Application and Plans Accepted By: _____ Date: _____

File Code/Number: _____

**Deposit required at time of formal submission*

At the conclusion of your plan review by the Town, you will be billed for additional staff time, Town Attorney cost, cost of advertising, and any other miscellaneous costs incurred with the processing of your application(s). Costs will be deducted from initial deposit. If costs exceed the initial deposit, you will be billed for the remaining costs incurred; or you will be refunded the unused portion of the deposit.



Planning, Zoning & Building Department
501 Bay Isles Road
Longboat Key, Florida 34228
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(941) 316-1966

VERIFIED STATEMENT AND CERTIFICATE OF OWNERSHIP

Pursuant to Sections 158.095 and 158.097(C), Town of Longboat Key Town Code, I am submitting the following Verified Statement and Certificate of Ownership. This Verified Statement and Certificate of Ownership reflects each and every individual person having a legal ownership, interest in the subject property except publicly held corporations whose stock is traded on a nationally recognized stock exchange, in which case the name and address of the corporation and principal executive officers will be sufficient.

I hereby verify and certify that as of July 27, 2015, the following are all persons and/or entities having a legal ownership interest in the real property located at

800 BROADWAY ST, LONGBOAT KEY FL 34228
(legal address)

Property Owners and/or shareholders:

1. Tom Leonard
 2. _____
 3. _____
 4. _____
- (Please attach additional sheets if necessary)

The undersigned does hereby state under oath that the foregoing information is true and correct.

[Signature]
 Signature

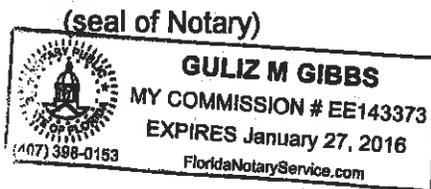
Tom Leonard
 Print Name

Managing Partner
 Title

State of FL
 County of Manatee

The foregoing instrument was acknowledged before me this 23 July, 2015, by Thomas Leonard (name and title), who is personally known to me or who has produced _____ as identification.

Guliz M Gibbs
 Signature of Notary
Guliz M Gibbs
 Print Name of Notary





Town of Longboat Key
Planning Zoning Building
501 Bay Isles Road
Longboat Key, FL 34228

Property Owner Affidavit

Authorized Agent

941-316-1966
941-316-1970 FAX

(I)(We) Tom Leonard 800 Broadway LLC as owner(s) of the property whose address and legal description is lots 1, 2, 3, + 2 1/2 lot Long Beach - Block 1, hereby appoint Peter M Dailen our Agent agent(s) to act on (my)(our) behalf for the request set forth below. (I)(we) understand that the agent may incur costs and expenses on our behalf in connection with (my)(our) request and agree to pay those fees and expenses in accordance with the Code of Ordinances of the Town of Longboat Key.

The nature of (my)(our) request is SPECIAL EXCEPTION / SITE PLAN
(Variance, Zoning Determination, Special Exception, Permitting, etc.)

If this Affidavit is for an Association, please provide a copy of the Board Meeting minutes / authorization allowing the work to be completed.

Tom Leonard
Print or Type Property Owner's/Board Member

[Signature]
Signature of Property Owner/Board Member

Print or Type Property Owner's Name/Board Member

Signature of Property Owner/Board Member

Mailing Address of Property Owner(s) / Association: 800 BROADWAY, LLC
465 John Ringling Blvd. # 200, SARASOTA FL. 34236
407-489-6001
Telephone Number of Property Owner(s)/Association

Fax Number of Property Owner(s)/ Association

Mailing Address of Agent(s): Peter M Dailen, 394 Butler Ave
SARASOTA FL. 34234
941-302-1500
Telephone Number of Agent(s)

Email - DailenDesign1@gmail.com
Fax Number of Agent(s)

State of FL
County of Manatee

The foregoing instrument was acknowledged before me this 23 July, 2015, by Thomas Leonard (name and title), who is personally known to me or who has produced _____ as identification.

[Signature]
Signature of Notary
Guliz M GIBBS
Print Name of Notary



September 28, 2015

Ms. Alaina Ray, AICP
Town of Longboat Key
Planning, Zoning & Building Department
501 Bay Isles Road
Longboat Key, FL 34228

RE: **Moore's Stone Crab Restaurant (Shore Restaurant)
Site Plan Application**

Dear Alaina:

On behalf of our client, we are submitting the enclosed Revised Site Plan Application for the construction of a new restaurant at 800 Broadway Street. Included with this submittal are the Application and Certificate of Ownership.

Per the Town Code, the items of Section 158.095-099 are hereby acknowledged. Section 158.097, Application for Site Plan Approval is specifically being met in the following manner:

Section 158.097, Application for Site Plan Approval

Any application for site plan approval shall be submitted on a form provided by the town together with full payment of an application fee as set forth by resolution of the town commission and in addition shall include at least the following information, unless the planning and zoning official determines that one or more of the following elements do not apply to the particular development:

- (A) The character of use and the location and size of the site, including a current land survey with a complete legal description prepared and certified by a registered surveyor.
This information is provided on the Site Plan (See Sheet 2). A current signed and sealed survey is provided as part of the application package.
- (B) Site plan with the title of the project, its lot configuration, finished ground floor elevations, contours (i.e., at six-inch intervals with reference to mean sea level), and designating number of dwelling units, square footage paved areas and open area, and dimensioned setbacks to scale indicating compliance with regulations.
This information is provided on the Site Plan (See Sheet 2).
- (C) Verified statement, including a certificate of ownership, showing each and every individual person having a legal ownership, interest in the subject property except publicly held corporations whose stock is traded on a nationally recognized stock exchange, in which case the name and address of the corporation and principal executive officers will be sufficient.

A certificate of ownership is included in the submittal package.

- (D) The relationship of the site to existing development in the area including streets, utilities, residential and commercial development, and important physical features in and adjoining the project, including ecological features.
Existing information surrounding the site is provided on the Site Plan and Survey (refer to Sheet 1 of the Plan Set for details). There is an existing restaurant and parking lot to the west. The southern and eastern property line is bounded by Sarasota Bay. In approved Variance 1-15 February 12, 2015 a 0 foot setback to mean high water line, (MHWL), and 20 foot setback to Broadway St. were approved for the restaurant. There is an existing dock with 14 boat slips which service the restaurant patrons. A new dock has been submitted to FDEP for approval and is shown on the Proposed Dock Plan Sheet (shaded). Additionally, a variance running concurrent with this application is filed to allow finger docks to exceed the 50 foot limit in the code 158.555.(A)4b. The new dock substantially reduces the potential impacts to seagrass beds also noted on the Plan. There is a mature vegetative buffer on the Mar Vista Restaurant site to the west which effectively screens Moore's from the Mar Vista. The Site Plan Landscaping and buffering indicates that all requirement will be met on the new restaurant site along the west border. Broadway Street borders the property to the north. Landscape buffering is provided to buffer the new restaurant structure from the residences across Broadway to the north. No music or amplified voices shall be allowed in the outdoor dining area. Lighting and Photometric Plans are included in this submittal as proposed Lighting Plan of the Site Plan covering all aspects of the improvements included in this application. This restaurant has been an established part of this community and neighborhood and will continue to provide quality dining and entertainment as part of it's contribution to Longboat Key. Refer to the Comprehensive Plan Analysis included as part of this Site Plan package for more detailed information regarding protection of surrounding properties.
- (E) The density or intensity of land use(s) to be allocated to all parts of the site to be developed together with tabulations by acreage and percentage thereof itemized by use and density.
Intensity and coverage calculations are provided on the Site Plan consistent with the Town Lot Coverage Calculation Sheet (See Sheet 2). The proposed design is well below the maximum allowable lot coverage and non-open space requirements as depicted on the Site Plan.
- (F) Tabulations by acreage and percentage as to the amount of the site that is uplands and wetlands, indicating those wetlands landward and seaward of the mean high-water line (MHWL). Additional related information should include the extent and type of wetlands in accordance with the town's comprehensive plan.
There are no wetlands onsite. The MHWL is identified on the Site Plan Sheet 2.
- (G) Architectural definitions for buildings in the development; include use, height, daylight plane, exterior construction material, exact number of dwelling units, sizes and types of building and dwelling units, together with typical floor plans of

each type. The floor plans should indicate uses and square footage of each proposed use within each building or structure and all exterior dimensions of each type of building or structure.

A detailed seating plan is depicted in the Site Plan Set. There are 185 seats proposed as part of this plan. The restaurant is currently approved for 185 seats. We are requesting to allow tables and seats to be outside for dining when weather permits. (Note: A special exception for outdoor dining has been filed and is being concurrently reviewed along with this application). The seating plans have been included in the Site Plan Set. Each area and its respective use are delineated in the Site Plan Set. (The uses are as follows: Service Area - Patron Area - Provides customer access to restaurant/bar, retail area and restrooms; Outdoor Dining Areas; Retail Area -Provides customers opportunity to view retail merchandise for personal purchase. Proposed elevations of the building are provided in the Building Elevation Set attached.)

- (H) The type and location of all existing trees protected by town regulations, including a plan how the removal of such vegetation would be avoided and/or replanted or replaced.
No existing protected vegetation will be removed. Additional screening and landscaping will be provided to enhance the site buffers consistent with code. See attached Landscape Plan, (Sheet 3), for specific details on plant material sizes, types and proposed locations.

- (I) Location, design and character of all utilities.
Existing utilities serve the Stonecrab restaurant. Since the new restaurant will be a 185 seat facility there are no additional impacts to the utilities on the property- Tie ins will be where they currently exist. Existing meter and backflow sizes will be verified prior to building permit application based on the fixture units proposed. Grease traps are proposed and will have a direct connection to the sewer line in Broadway.

- (J) Location, height and general character of perimeter and ornamental walls, fences, landscaping, including berms and other required screening devices and any other plans for protecting adjacent property owners.
A detailed Landscaping & Screening Plan is included in the Site Plan. See Sheet 3. The existing vegetative buffer to the west on the Mar Vista Restaurant site is fully mature and provides an excellent screening & buffer of the site in its current condition. Landscaping to code is proposed to provide buffering and screening along the two sides of the parcel that abut neighbors, the west and north. These buffers are proposed to meet or exceed code requirements. The proposed elevations within the Elevation Plan set depict the screening along and west the north side of the property and along the building facades.

- (K) Location of all pedestrian walks, malls and bike paths.
Proposed walkways are indicated on the Site Plan. Bike racks are included and are shown on the Landscape Plan Sheet 3.

- (L) Location and character of recreation areas and facilities and the disposition of all open space indicated on drawings. This information should include calculations, verified by a licensed design professional, indicating how the town's open space requirements are being met. If common facilities (such as recreation areas or

structures, private streets, common open space, etc.) are to be provided for the development, statements as to how such common facilities are to be provided and permanently maintained. Such statements may take the form of proposed deed restrictions, deeds of trust, homeowners associations, surety arrangements, or other legal instruments providing adequate guarantees to the town that such common facilities will not become a future liability of the town.

Intensity and coverage calculations are provided on the Site Plan consistent with the Town Lot Coverage Calculation Sheet. There are no proposed recreation areas or facilities.

- (M) Location and character of all outside facilities for waste disposal, storage areas or display.

This information is shown and identified on the Site Plan Sheet 2.

- (N) A traffic impact analysis shall be provided, except for involuntary reconstruction and voluntary reconstruction without additional units, to ensure that the adopted levels of service standards are not exceeded before capacity-related improvements are implemented. The locations and dimensions of all curb cuts, driveways, including the number of parking spaces with their location and dimension, details of off-street parking, including interior parking areas and loading areas, all off-street vehicular surfaces available for maneuvering, surface materials, number of employees and number and type of vehicles owned by the establishment shall be provided.

Under separate cover a Transportation Concurrency Analysis was provided. There were three curb cuts on the Moore's Stone Crab site. The new Plan indicates three curb cuts for patrons and employees. There are 70 total employees full and part time at the proposed restaurant with approximately 15 employees on staff at any given time. There are no vehicles owned by the establishment. Refer to Site Plan for proposed traffic circulation patterns and pedestrian paths for ingress and egress to the restaurant. An updated parking calculation is provided on the Site Plan based on net patron area (158.128) for the ground floor areas for 185 seats. The proposed 185 seats require a total of 47 parking spaces. There are 55 spaces shown on the Site Plan Sheet 2. Refer to Site Plan Sheet 2 for all applicable parking dimensions and wheel stop locations.

- (O) Flood protection elevation data and flood zones delineated. A surface water management plan based on best management practices and in accordance with the sanitary sewer, potable water, solid waste, and drainage element of the town's comprehensive plan.

The flood zone and elevation are identified on the Site Plan. The garage will have a pump system to pump stormwater out in flood or exceptional high tide situations with surge flaps in the walls. Stormwater is directed away from the bay to be treated prior to discharge. See Sheet 4.

- (P) A soil erosion and sedimentation plan in accordance with of the town's comprehensive plan and best management practices.

A Soil Erosion & Sedimentation control is indicated in the Site Plan Sheet 4 in accordance with best management practices and the Town's comprehensive plan. There are proposed drainage flow arrows depicted on Sheet 4. Construction Notes have also been added regarding the regrading of the parking and circulation areas to pre-treat runoff prior to discharge to public rights of way. In addition, concrete aprons and easterly

drives are proposed at each driveway approach and permeable paving is proposed for the area located at the western end of the parking lot and western drive aisle areas. Refer to legend and hatching on Site Plan Sheet 2 and Soil and Erosion Control Sheet 4 for specific locations.

- (Q) All applications for permits and supporting documentation, correspondence and any other material submitted to any outside permitting agencies or received from such agencies.
Applicable Health Department approvals will be obtained upon Site Plan Approval and will be provided to the Building Department upon receipt. An FDEP permit for reconstruction of the existing docks and addition of several finger docks has been applied for. Any other required FDEP and SWFWMD permits or other agency permits will be provided at the time of Building Permit Application. Compliance with all applicable codes and requirements shall be demonstrated during Building Permit review stage as well.
- (R) Such additional data, maps, plans or statements as may be required for the particular use or activity involved.
Refer to entire Site Plan package for all required/requested information.
- (S) Such additional data, as the applicant may believe is pertinent to the site development plan.
Refer to entire Site Plan package for all pertinent site information.
- (T) Such additional material and information the town may reasonably require.
Refer to entire Site Plan package for all required/requested information.
- (U) A list of all departures from the supplement controls set forth in subsection 158.102(L) and a clear description of the nature and extent of the departure and a statement specifically indicating the factual basis for any hardship claimed by the applicant and/or a statement of the facts constituting the basis for a request for a waiver of the supplemental controls as set forth in subsection 158.102(L).
No departures or hardships are being requested.
- (V) If the project is in a planned unit development, utilizing the involuntary reconstruction provisions of section 158.139, or utilizing the voluntary reconstruction provisions of section 158.140, a statement specifically listing any departures, relaxations, modifications and adjustments from provisions of the Code of Ordinances which would otherwise be applicable to the project if the outline development plan process were not applicable. If the project is in the GPD, PD or NPD district, departures should be based upon the requirements of a zoning district most similar to the use approved for the parcel being considered as determined by the town.
Not Applicable.
- (W) (1) In addition to the applicable provisions for site plan approval enumerated above, the following will be required for consideration of site plan approval or site plan exemption for personal wireless service facilities classified as rooftop antennas or antennas placed on the exterior of buildings or structures which meet the requirements of section 158.1361 of this chapter.

(a) – (m)

Not Applicable.

(2) The following will be required for conditions of site plan approval and a special exception permit for personal wireless service facilities not governed by subsection (W)(1) above, including, but not limited to towers:

(a) – (ff)

Not Applicable.

Section 158.102, Performance standards for site and development plans:

(A) Site Location and Character of Use:

a. Detailed Site Information is provided in the Site Plan Sheet 1. Refer to Sheet 2 for off-street parking information and calculations. A Landscape & Screening Plan Sheet 3 provides detailed information on the existing and proposed landscape buffers and required and provided open space and yards. A signed and sealed survey is also provided. Dimensions are indicated on the Site Plan Sheet 2 for all yard and building setbacks. Refer to Comprehensive Plan Analysis included as part of this submittal for more detailed information on the suitability of the location and design of the proposed use.

(B) Appearance of Site and Structures:

a. Detailed Site and Structure Information is provided in the Site Plan - Plan Set and Elevation Set. In addition, a Lighting Plan is provided for proposed outdoor lighting. Refer to Proposed Lighting Plan Sheet EO.10. Elevations of the restaurant are provided in the Elevation Set. Refer to the Elevation Set for applicable horizontal and vertical dimensions of the buildings. Vegetation proposed within the buffer yard areas will meet or exceed opacity requirements.

(C) Maximum Floor Area Ratio:

a. Refer to calculations on the Site Plan Sheet 2.

(D) Parking, Internal Circulation, and Access to Public or Private Streets:

a. Existing Site currently has three curb cuts access points to Broadway Street. Broadway is a public street. Refer to Site Plan Sheet 2 for proposed traffic circulation patterns and pedestrian paths for ingress and egress to the restaurant. A parking calculation is provided on the Site Plan; in addition, maximum occupancy load calculations are provided on the Site Plan. In conjunction with the proposed parking and circulation for the new restaurant, bike racks have been installed, See Sheet 3 for locations. In addition the application to extend the finger docks will provide better dockage for today's boats with deeper drafts and longer hulls while substantially lessening impacts to the sea grass beds. These docks as proposed will likely increase boat traffic to the restaurant which in turn lessens the traffic on Broadway and lessens the potential for on-street parking. These improvements will lessen impacts to the neighbors along Broadway. Refer to the Site Plan Sheet 2 for all applicable parking dimensions and wheel stop locations.

(E) Traffic Impacts:

a. Under separate cover a Traffic Impact Analysis was provided. (Note: The traffic analysis was done for 299 seats. We are proposing only to

have 185 seats as the existing restaurant is permitted for, and therefore there are no new traffic impacts proposed). Refer to Site Plan sheet 2 for proposed traffic circulation patterns and pedestrian paths for ingress and egress to the restaurant. The bicycle ingress/and egress and pedestrian access will be as shown on the Site Plan.

- (F) Open Space and Landscape:
 - a. **A Landscape & Screening Plan is provided in the Site Plan Set Sheet 3. Required and Provided open space calculations are provided on the Site Plan Set.**
- (G) Wetland Development Restrictions:
 - a. **Not Applicable.**
- (H) Surface Water Management:
 - a. **Runoff is directed away from the Bay to allow treatment prior to discharge. Refer to Plan Sheet 4 for locations as shown. Flow arrows and Construction Notes are also provided on this plan sheet to ensure that all impervious areas are directed into the proposed swale areas and vault areas for treatment prior to discharge.**
- (I) Available Potable Water:

The new proposed restaurant will be hooked up to the existing water meter for Moore's Stone Crab Restaurant. Meter Calculations will be provided to Public Works Department in conjunction with Building Permit Application to verify that existing meter and backflow sizes are adequate.
- (J) Wastewater Service:
 - a. **Sewer service is available in Broadway and will be hooked into the proposed restaurant. Tie in will occur where it is located currently.**
- (K) Soil Erosion & Sedimentation Control:
 - a. **A Drainage and Soil Erosion Plan is included as Sheet 4 of the Site Plan Set in accordance with the Town's Plan and for approval by Public Works Department. The parking lot areas are proposed to be concrete and pervious paving reducing any siltation runoff to the bay as stormwater runoff will be directed away from the Bay to allow treatment prior to discharge. This project is designed to exceed State water quality requirements. NPDES, SWFWMD ERP, and FDEP Generic permits will be obtained and maintained during construction.**

Section 158.103, Grant or denial of applications for site plan approval:

- (A) Consistency with Comprehensive Plan and the purpose and intent of the zoning district.

The current zoning for the property is C-1. Outdoor Dining and increased dock area are permitted and allowed special exception uses within the C-1 zoning district.

Refer to Comprehensive Plan Analysis included as part of this submittal for more detailed information on the suitability of the location and design of the proposed use in accordance with the intent of the zoning district. The outdoor dining areas will be screened from neighbors to the north by a combination of the proposed building itself and walls. See Building Elevation Set.

- (B) In what respects the plan is or is not in conformance with all applicable regulations of the zoning district in which it is located.
Detailed Site and Structure Information is provided in the Site Plan Sheet 2 and Architectural Elevation Plan Set demonstrating compliance with all applicable regulations of the zoning district.
- (C) In what respects the plan is or is not in conformance with the Town's subdivision regulations, chapter 157, and all other applicable Town requirements including the design, adequacy and construction of streets, drainage, utilities facilities and other essential services.
Refer to Site Plan Set for all aspects of the plan demonstrating compliance.
- (D) In what respects the plan is or is not consistent with good design standards in respect to all external relationships, including, but not limited to, relationship to adjoining properties; internal circulation, both vehicular and pedestrian; disposition and use of open space, provision of screening and buffering, and preservation of existing natural features, including trees; size and apparent bulk of structures; and building arrangements both between buildings in the proposed development and those adjoining the site.
Existing Site currently has three curb cuts access to Broadway Street. Broadway is a public street. There are existing residences to the North of the project along the north side of Broadway. There is an existing restaurant and parking lot to the west. The southern and eastern property lines are bounded by Sarasota Bay. There is an existing dock with 14 boat slips which service the restaurant patrons. A new dock configuration is being proposed which moves the docks out away from the existing seagrass beds shown on the survey by adding several finger docks to the configuration. An application to FDEP has been filed. (Additionally, a variance from 158.155 (A) (4) (b) is filed to allow finger docks past 50 feet, and a Special Exception Application to allow for greater than 500 square feet of overwater structures which run concurrent with this application). Additional vegetation will be added in accordance with the Proposed Landscape Buffer Sheet 3. The 2nd story of the proposed restaurant is being removed and the resulting one story restaurant over parking will have minimal impact on the adjoining properties and will have no detrimental ecological impact. No music or amplified voices shall be allowed in the outdoor dining area. In accordance with the hours of operation, the outdoor dining area shall be vacated by 10:00 pm. Lighting and Photometric Plans are included in this submittal as Lighting Plan Sheet EO.10 of the Site Plan Set covering all aspects of the improvements included in this application. This Moore's restaurant has been an established part of this community and neighborhood since 1967 and will continue to provide quality dining and entertainment as part of it's contribution to Longboat Key. The proposed restaurant will help to jumpstart the revitalization of the Village area and the north end of the Key. Refer to the Comprehensive Plan Analysis included as part of this Site Plan Amendment package for more detailed information regarding protection of surrounding properties.
- (E) In what respects the plan is or is not in conformance with the Town policy in respect to sufficiency of ownership, guarantees for completion of all required improvements, and, if private, the guarantees for continued maintenance.

800 Broadway, LLC, is the owner of this property and will continue to maintain ownership and maintenance responsibilities for the new proposed restaurant LTA, the Engineer of Record for the site related components of this project, hereby certifies that all requirement improvements will be completed in accordance all applicable requirements and permits. 800 Broadway, LLC, guarantees that maintenance of the property will continue to be performed to the Town's full satisfaction.

Section 158.126 and Section 158.136– Special Exception Uses:

A Special Exception Application is provided as a separate application filed concurrently with this Site Plan. Refer to separate narrative and application for Special Exception for detailed information pertaining to this Section.

Section 158.128 – Off-street parking:

Occupancy Load Calculations are provided on the Site Plan Sheet 2. The parking calculations are shown and are consistent with 158.128 for the 185 seats proposed.

- (I)(5) All trees, landscape islands, and other landscape areas shall be protected from vehicular encroachment:
Wheel Stops are delineated on the Site Plan Sheet 2 and are located in such a manner as to protect the landscape areas from vehicular encroachment.

- (J) Parking Access and Circulation:
Refer to Site Plan Sheet 2 for proposed traffic circulation patterns and pedestrian paths for ingress and egress to the restaurant. Refer to Sheet 2 for locations of handicap spaces and access.

- (L) Delineation of Parking Spaces:
Wheel stops are shown on the Site Plan Sheet 2. Handicap Spaces shall be striped in accordance with FDOT and ADA standards. All spaces and drive aisles are dimensioned on the Site Plan.

Section 158.150 – Yard Regulations:

- (C) Transition Yard Requirements:
Existing and Proposed Buffers are shown on the Landscape & Screening Plan Sheet 3. Additional vegetation will be added in accordance with the Proposed Landscape Buffer Sheet 3 meeting or exceeding code requirements.

Section 158.154 – Screening Regulations:

- (A) Subject to the requirements of section 158.152, where any nonresidential use directly abuts a single-family residential zone or where a nonresidential use within a multifamily residential zone abuts a residential use in the same or a different residential zone, it shall be screened from the adjoining residential zone in one of the following ways:

- (1) By a fence or wall at least five feet but not more than six feet in height of at least 60 percent solidity measured perpendicularly. The fence or wall shall be

located completely within the limits of the nonresidential lot and shall have equal architectural treatment on both sides.

Existing and Proposed Buffers are shown on the Landscape & Screening Plan Sheet 3. There is an existing mature vegetated buffer along the west side of the property in the Mar Vista Restaurant site. Additional vegetation will be added along the north property line in the new restaurant site to meet or exceed code requirements. See Proposed Landscape Plan.

(2) By landscaping which is selected and arranged to form a visual screen between the nonresidential use and the residential district or use from which it is to be screened. The landscaping shall be by berm or mature plants having already attained a six-foot height and providing the necessary screening; however a permanent fence to supplement the landscaping may be required.

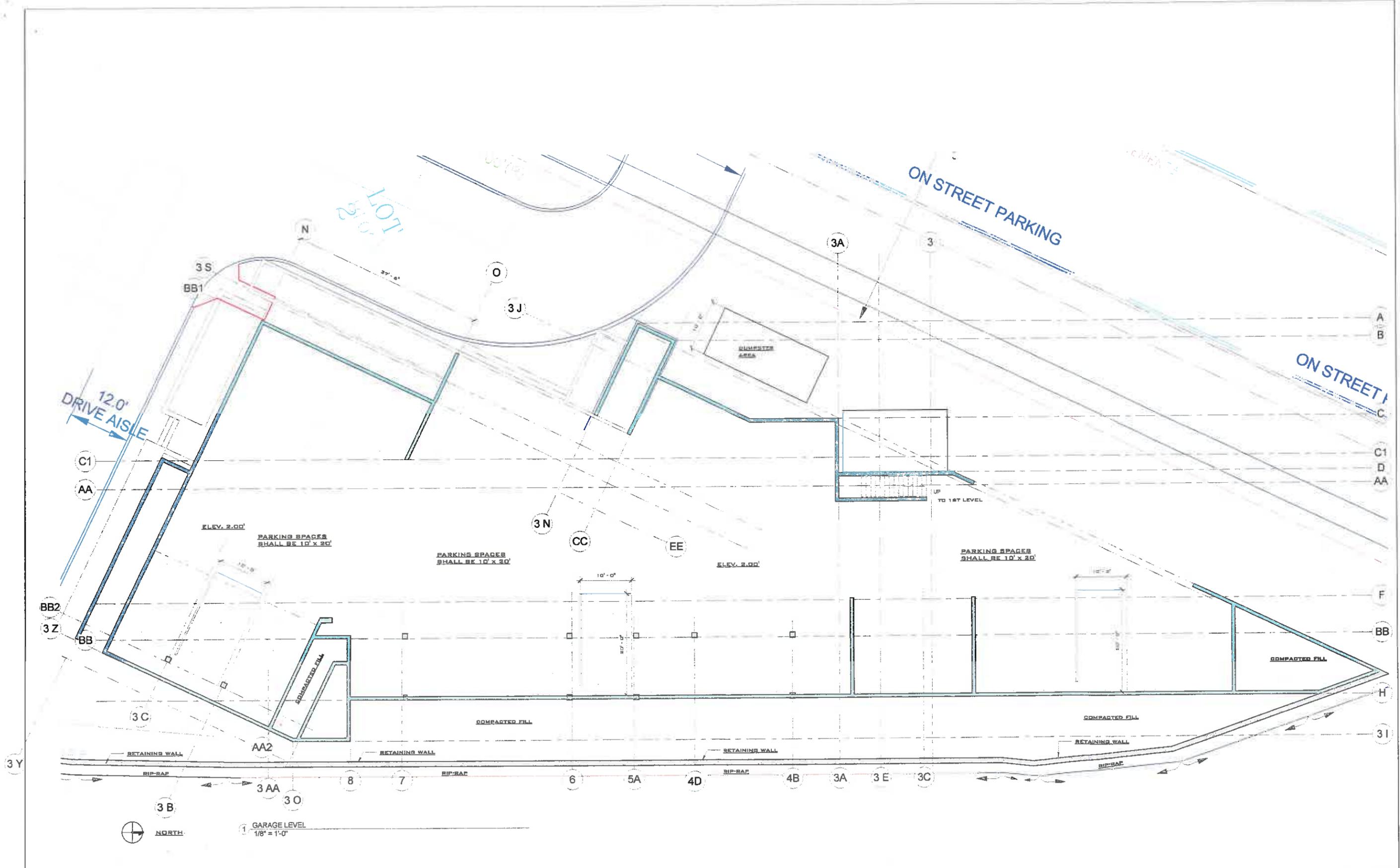
We will provide required landscaping along the west property line to meet code on the Moore's/Shore Restaurant site. We are proposing landscaping within the 20' street setback along Broadway and appropriate landscape screening between the parking area and the Bay. The boundary landscaping is intended to screen the views of adjacent properties from any impacts from parking and circulation within the parking lot areas. The height of the proposed landscaping will shield headlights from adjacent properties and the Bay. See Landscape Plan Sheet 3 and Landscape elevations provided.

We trust that this detailed analysis meets and exceeds the requirements for the Site Plan Amendment checklist and review criteria. Please feel free to contact us if you have any questions or require any additional information.

Sincerely,

Peter M. Dailey, AICP
Dailey Design Group

CC: Tom Leonard 800 Broadway, LLC



CAROTTI
ENGINEERING LLC
RENATO A. CAROTTI, P.E. PE 64764
ENGINEERING FIRM

SEAL

PROJECT:
NEW RESTAURANT
800 BROADWAY STREET
LONNBOAT KEY FLORIDA

FOR:
THE SHORE

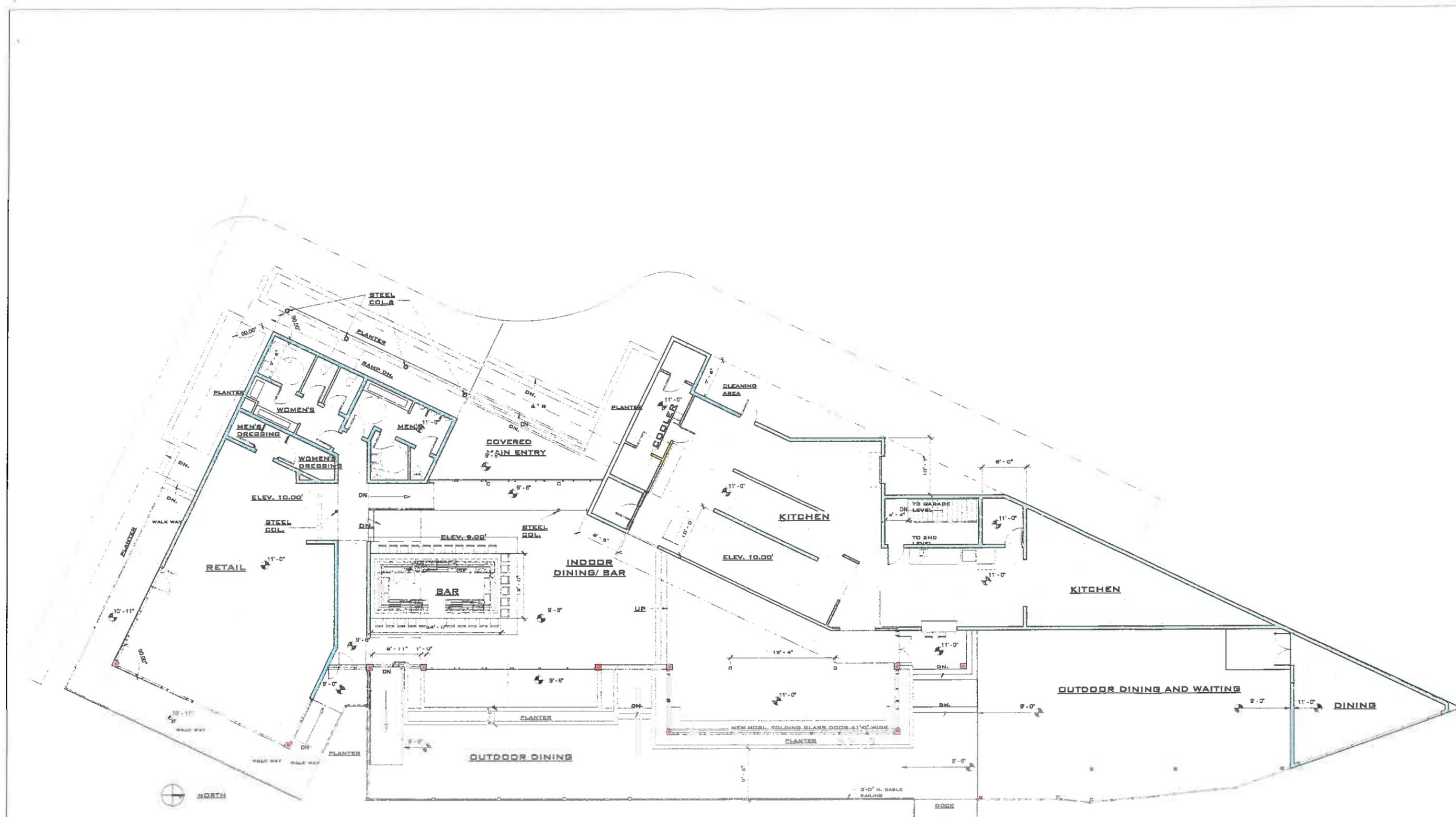
JB DESIGNS
4904 BOLO TREES WAY
SARASOTA FLORIDA 34232
941-379-4449 FAX
941-760-8853 PHONE
880ND60007@AOL.COM

REVISIONS

PROJECT NO.:

DATE: 09.01.15

A-101



1 1ST LEVEL
 1/8" = 1'-0"

CAROTTI ENGINEERING LLC RENATO A. CAROTTI, P.E. PE 64764 ENGINEERING FIRM	SEAL	PROJECT: NEW RESTAURANT 800 BROADWAY STREET LONGBOAT KEY FLORIDA	FOR: THE SHORE	JOB DESIGNS 4904 GOLD TREES WAY SARASOTA FLORIDA 34233 941-379-4449 FAX 941-720-8853 PHONE 880ND80007@GOL.COM	REVISIONS	PROJECT NO.:	DATE: 09.01.15 A-102
---	-------------	---	---------------------------------	---	------------------	---------------------	---



4 SOUTH VIEW
3/32" = 1'-0"



3 NORTH VIEW
3/32" = 1'-0"



2 WEST/ FRONT VIEW
3/32" = 1'-0"



1 WATER FRONT VIEW
3/32" = 1'-0"

CAROTTI
ENGINEERING LLC

RENATO A. CAROTTI, P.E. PE 64764
ENGINEERING FIRM

SEAL

PROJECT:
NEW RESTAURANT
800 BROADWAY STREET
LONGBDAT KEY FLORIDA

FOR:
THE SHORE

J.B. DESIGNS
4904 GOLD TREES WAY
SARASOTA FLORIDA 34232
941-375-4449 FAX
941-780-8803 PHONE
380N060007@AOL.COM

REVISIONS

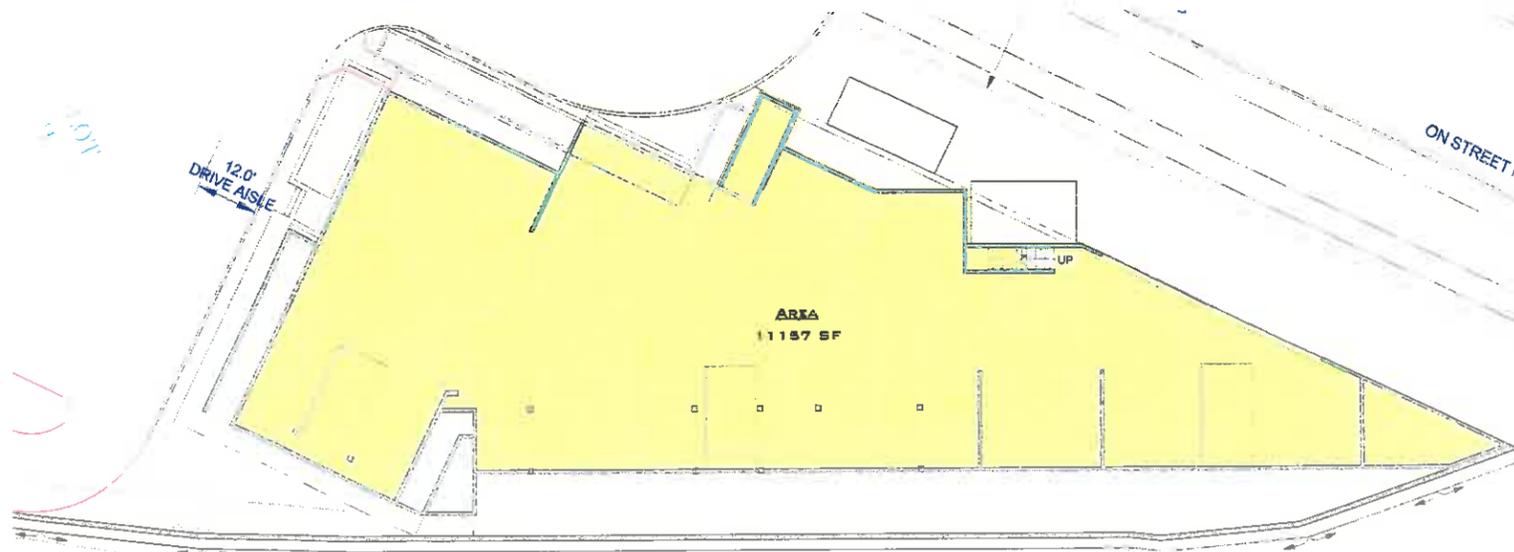
PROJECT NO.:

DATE: 02.01.15

A-105C

NOTE:
 1. BUILDING CODE: FLORIDA BUILDING CODE 2010
 2. LIFE SAFETY: NFPA 101, 2009 EDITION
 3. HANDICAP ACCESSIBILITY: FLORIDA ACCESSIBILITY CODE FOR BUILDING CONSTRUCTION AMERICANS WITH DISABILITIES ACT (ADA)
 4. BUILDING CLASS: CLASS 1
 5. OCCUPANCY LOAD: (ASSEMBLE- RESTAURANT)
 A. RESTAURANT DINING SEATS WILL NOT EXCEED 185

EXISTING BUILDING AREA: 10,109 SQ.FT. ENCLOSED 7,642 SQ.FT.
 PROPOSED BUILDING AREA: 11,157 SQ.FT. ENCLOSED 8,279 SQ.FT.



Building Area Legend

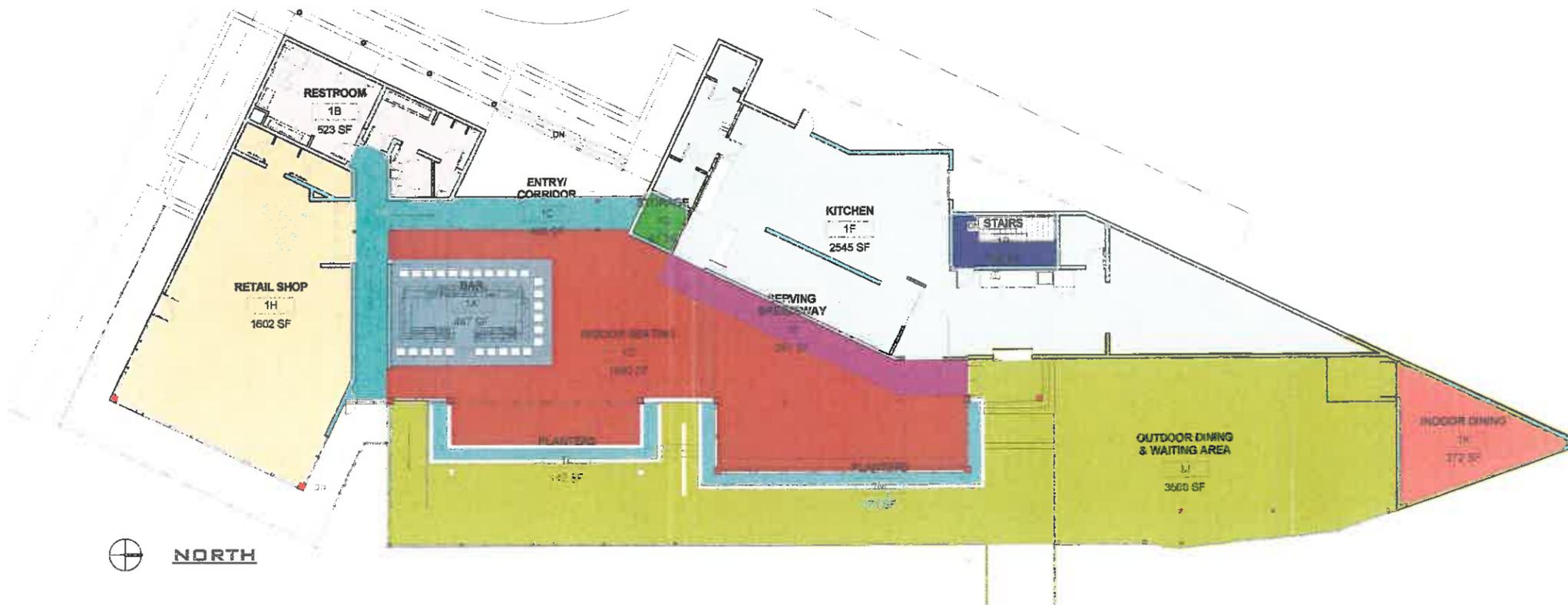
GROSS BUILDING AREA

2 GARAGE LEVEL
 1/16" = 1'-0"

ROOM NUMBER	ROOM NAME	ROOM FINISH SCHEDULE					COMMENTS	AREA
		FLOOR	BASE	WALL	CEILING	CEILING HEIGHT		
1A	BAR							487 SF
1B	RESTROOM							523 SF
1C	ENTRY/ CORRIDOR							466 SF
1D	INDOOR SEATING							1990 SF
1E	SERVING BREEZEWAY							291 SF
1F	KITCHEN							2545 SF
1G	COOLER							REDUNDANT ROOM
1H	RETAIL SHOP							1602 SF
1J	OUTDOOR DINING & WAITING AREA							3500 SF
1K	INDOOR DINING							372 SF
1L	PLANTERS							142 SF
1M	PLANTERS							171 SF
1Q	STORAGE							61 SF
1R	STAIRS							166 SF

Room Legend

- BAR
- COOLER
- ENTRY/ CORRIDOR
- INDOOR DINING
- INDOOR SEATING
- KITCHEN
- OUTDOOR DINING & WAITING AREA
- PLANTERS
- RESTROOM
- RETAIL SHOP
- SERVING BREEZEWAY
- STAIRS
- STORAGE



1 1ST FLOOR SQ.FT. AREA PLAN
 3/32" = 1'-0"

CAROTTI
 ENGINEERING LLC

RENATO A. CAROTTI, P.E. PE 64764
 ENGINEERING FIRM

SEAL

PROJECT:
 NEW RESTAURANT

800 BROADWAY STREET
 LONGBOAT KEY FLORIDA

FOR:
 THE SHORE

JJE DESIGNS

4904 GOLD TREES WAY
 SARASOTA FLORIDA 34232
 941-379-4443 FAX
 941-730-8858 PHONE
 060606007@ADL.COM

REVISIONS

PROJECT NO.:

DATE: 09.01.15

A-106

2

Prepared by and return to:
Louis Justin Najmy
Attorney at Law
Najmy Thompson, P.L.
1401 8th Avenue West
Bradenton, FL 34205
File Number: 2179

Parcel Identification No. 77661000007

[Space Above This Line For Recording Data]

Warranty Deed

(STATUTORY FORM - SECTION 689.02, F.S.)

This Indenture made this 7th day of July, 2015 between Moore-Hicks Limited Partnership, a Florida limited partnership whose post office address is 800 Broadway Street, Longboat Key, FL 34228 of the County of Manatee, State of Florida, grantor*, and 800 BROADWAY, LLC, a Florida limited liability company whose post office address is 465 John Ringling Blvd., Sarasota, FL 34236 of the County of Sarasota, State of Florida, grantee*,

Witnesseth that said grantor, for and in consideration of the sum of TEN AND NO/100 DOLLARS (\$10.00) and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained, and sold to the said grantee, and grantee's heirs and assigns forever, the following described land, situate, lying and being in Manatee County, Florida, to-wit:

Lots 1, 2, 3 and NE 1/2, of Lot 4, Block 1, LONG BEACH, REPLAT OF LONG BEACH, recorded in Plat Book 1, Pages 306 and 329, Public Records of Manatee County, Florida; ALSO that part of Bayside Drive (vacated) adjacent to the above lots bounded on the North by an extension of the Southeasterly line of Broadway to Sarasota Bay and bounded on the South by extension of the Southeasterly line of Lot 4, extended to Sarasota Bay.

and said grantor does hereby fully warrant the title to said land, and will defend the same against lawful claims of all persons whomsoever.

* "Grantor" and "Grantee" are used for singular or plural, as context requires.

In Witness Whereof, grantor has hereunto set grantor's hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:

Moore-Hicks Limited Partnership, a Florida limited partnership

By: Moore-Hicks, Inc., as General Partner

By: Alan Moore
Alan Moore, President

Christina Fagan
Witness Name: CHRISTINA FAGAN

Susan C. Smith
Witness Name: SUSAN C. SMITH

State of Florida
County of Manatee

The foregoing instrument was acknowledged before me this 7th day of July, 2015 by Alan Moore, President of Moore-Hicks, Inc., as General Partner, on behalf of the corporation for Moore-Hicks Limited Partnership, a Florida limited partnership. He/she is personally known to me or has produced a driver's license as identification.

[Notary Seal]



Susan C. Swett
Notary Public

Printed Name: SUSAN C. SWETT

My Commission Expires: _____



Detail by Entity Name

Florida Limited Liability Company

800 BROADWAY, LLC

Filing Information

Document Number	L15000075311
FEI/EIN Number	NONE
Date Filed	04/29/2015
State	FL
Status	ACTIVE

Principal Address

465 JOHN RINGLING BOULEVARD
SARASOTA, FL 34236

Mailing Address

465 JOHN RINGLING BOULEVARD
SARASOTA, FL 34236

Registered Agent Name & Address

COHEN, DAVID S, ESQUIRE
5728 MAJOR BOULEVARD
SUITE 550
ORLANDO, FL 32819

Authorized Person(s) Detail

Name & Address

Title MGR

LEONARD, GREGORY T
465 JOHN RINGLING BOULEVARD
SARASOTA, FL 34236

Annual Reports

No Annual Reports Filed

Document Images

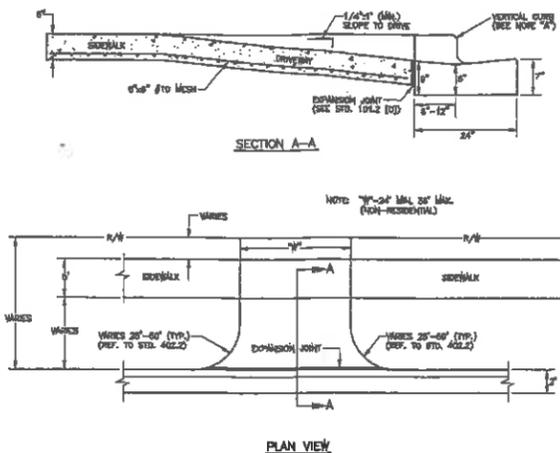
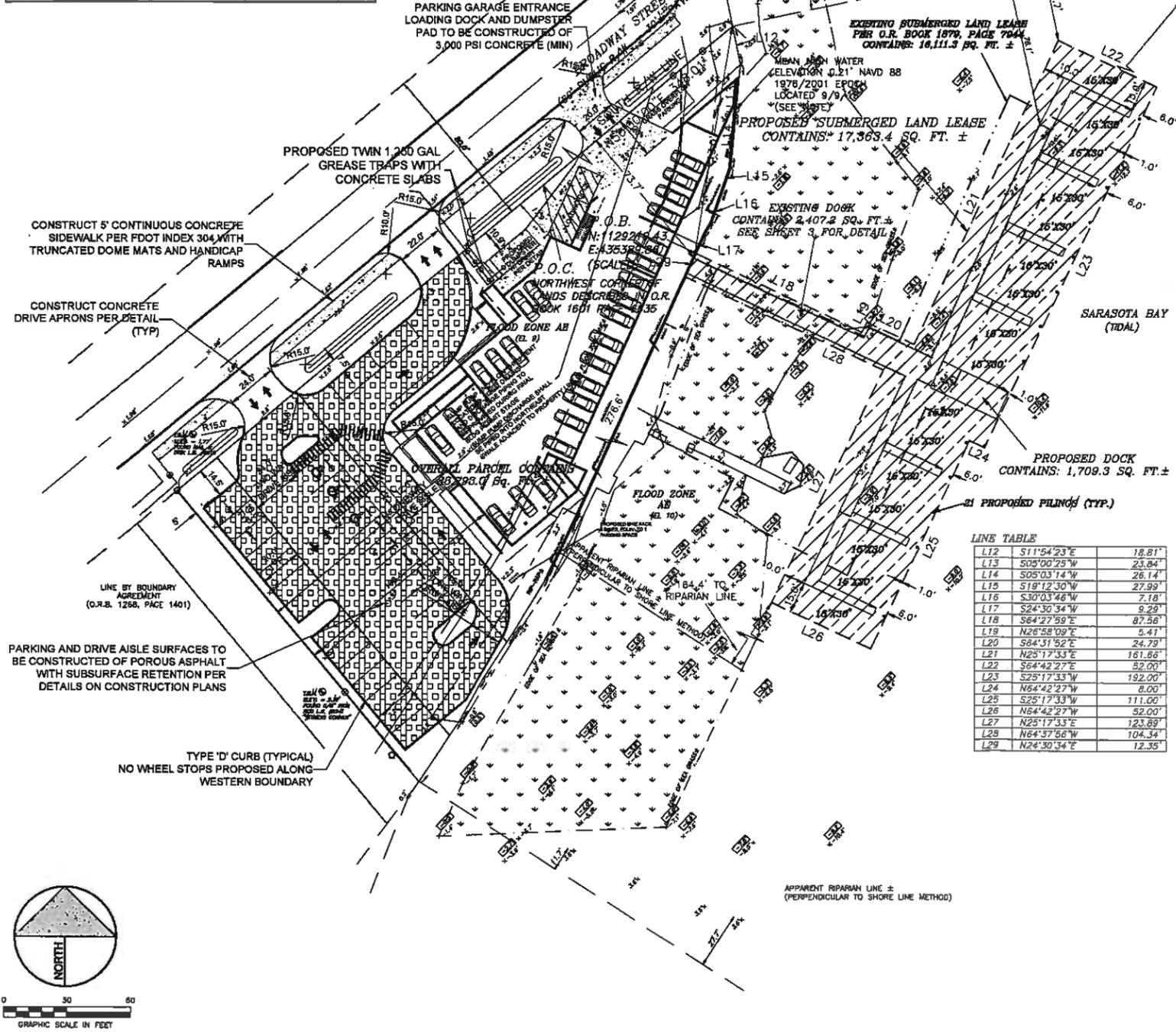
LOT SIZE, BUILDABLE: 38,763.00 square feet, as supported by submitted signed/revised survey.

LOT COVERAGE CALCULATIONS (30% Maximum)

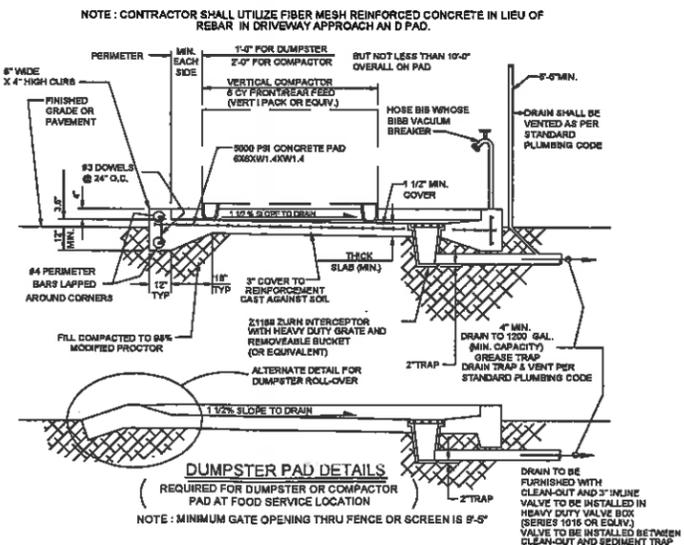
Line #	DESCRIPTION	THIN PERMIT	BY OTHERS
1	NON-POOL/SPA AREAS	7,492.50	11,157
2	BUILDINGS AND STRUCTURES (above exterior walls/corner)	300	182
3	FRONT ENTRY AND FRONT STEPS (graded and waterproof)	0	0
4	REAR ENTRY & REAR STEPS (graded and waterproof)	0	0
5	ROOF TOP POOL/Deck	0	0
6	RAISED DECK OR TERRACE (4" above finished grade)	2,468.00	0
7	TOTAL LOT COVERAGE SQUARE FOOTAGE (sum of "existing", "thin permit", and "by others" in lines 1,2,3,4,5,6)	11,259	11,339
8	TOTAL LOT COVERAGE PERCENTAGE	29.3%	29.3%

NON-OPEN SPACE CALCULATIONS (80% Maximum)

Line #	DESCRIPTION	THIN PERMIT	BY OTHERS
9	AT-GRADE IMPROVEMENTS	21,743	16,628
10	DRIVEWAY/PARKING AREAS (as per site plan) (all surface types)	1,878	582
11	DESIGNATED WALKWAY/BICYCLEWALK (as per site plan) (all surface types)	1,324	0
12	IMPERMEABLE PATIO, SLAB, ETC. (unimproved pad)	0	0
13	PERMEABLE POOL DECK (as-grade)	0	0
14	POOL/SPA AREAS (as-grade)	0	0
15	MECHANICAL EQUIPMENT PAD (A.C. INCL. pad) (as-grade)	0	0
16	OTHER IMPROVEMENTS OR RECONSTRUCTION (as-grade)	0	0
17	TOTAL AT-GRADE SQUARE FOOTAGE (sum of "existing", "thin permit", and "by others" in lines 9-16)	23,945	17,210
18	TOTAL LOT COVERAGE & NON-OPEN SPACE SQUARE FOOTAGE (Sum 8 + 17)	35,200	28,549
19	TOTAL LOT COVERAGE & NON-OPEN SPACE PERCENTAGE	90.8%	73.7%



- A) IF REPLACING VERTICAL CURB AND GUTTER, REPLACE WITH 6" HIGH CURB AND GUTTER. NO CHANGE WITH 5' VALLEY CROSSING.
- B) SIDEWALK, CONSTRUCT WITH 6" CONCRETE, 6"x6" #10 MESH, 3000 PSI AT 28 DAYS.
- C) DRIVEWAY CONSTRUCTED WITH 6" CONCRETE WITH 6"x6" #10 MESH, 3000 PSI AT 28 DAYS.
- D) EXPANSION JOINT 1/2" PREFORMED JOINT FILLER PER FOOT SECTION 932-1.1 OR APPROVED ALTERNATE. 8" DRIVE IS WIDER THAN 12", ADD JOINTS AT 10' CENTERS.
- E) 6" SIDEWALK ON LOCAL STREETS, 6" SIDEWALK ON THOROUGHFARES. (WIDER USE PATHS MAY REQUIRE 8" SIDEWALKS PER LAND DEVELOPMENT CODE.)



NOTE: REFER TO LANDSCAPE PLAN FOR BUFFER PLANTINGS, FENCE AND RETAINING WALL LOCATIONS, HEIGHTS, TYPES OF MATERIALS AND CROSS SECTIONS.

EXISTING RESTAURANT CONTAINS 10,109 SF (GFA). PROPOSED RENOVATION/REMODEL INCLUDES 11,157 SF (ONE LEVEL ABOVE GARAGE).

PARKING CALCULATIONS:

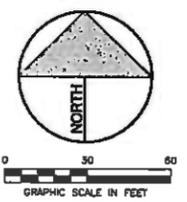
REQUIRED PARKING SPACES UNDER SECTION 158.128 OF THE ZONING CODE.

RENOVATED RESTAURANT CONTAINING 185 SEATS (REQUIRED PARKING = 1 SPACE PER 4 SEATS):

PARKING REQ'D = 185 SEATS X 1SPACE/4 SEATS = 47 PARKING SPACES REQUIRED

TOTAL PARKING REQ'D = 47 PARKING SPACES (INCLUDES 3 HANDICAP SPACES)

TOTAL PARKING PROVIDED: 55 PARKING SPACES PROVIDED ON-SITE (26 GARAGE, 28 REGULAR INCLUDING 3 HC, AND 1 GRASS OVERFLOW)



PROJECT: 15227 Shore Avenue East, Longboat Key, FL 34908
 PHONE: 941.726.9100
 FAX: 941.765.0118

LTA ENGINEERS, LLC
 Civil Engineers & Land Planners

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NO.	DATE	BY	REVISION
1			REQUIRED PER STAFF COMMENTS

SHORE AT LONGBOAT KEY
 Town of Longboat Key, FL
 Sec. 15, Twp. 36 S., Rge. 18 E. Manatee County, Florida

SITE PLAN



2A

SITE PLAN

FOR

SHORE RESTAURANT

Town of Longboat Key, Florida

SECTION 15, TOWNSHIP 35S, RANGE 16E

MANATEE COUNTY, FLORIDA

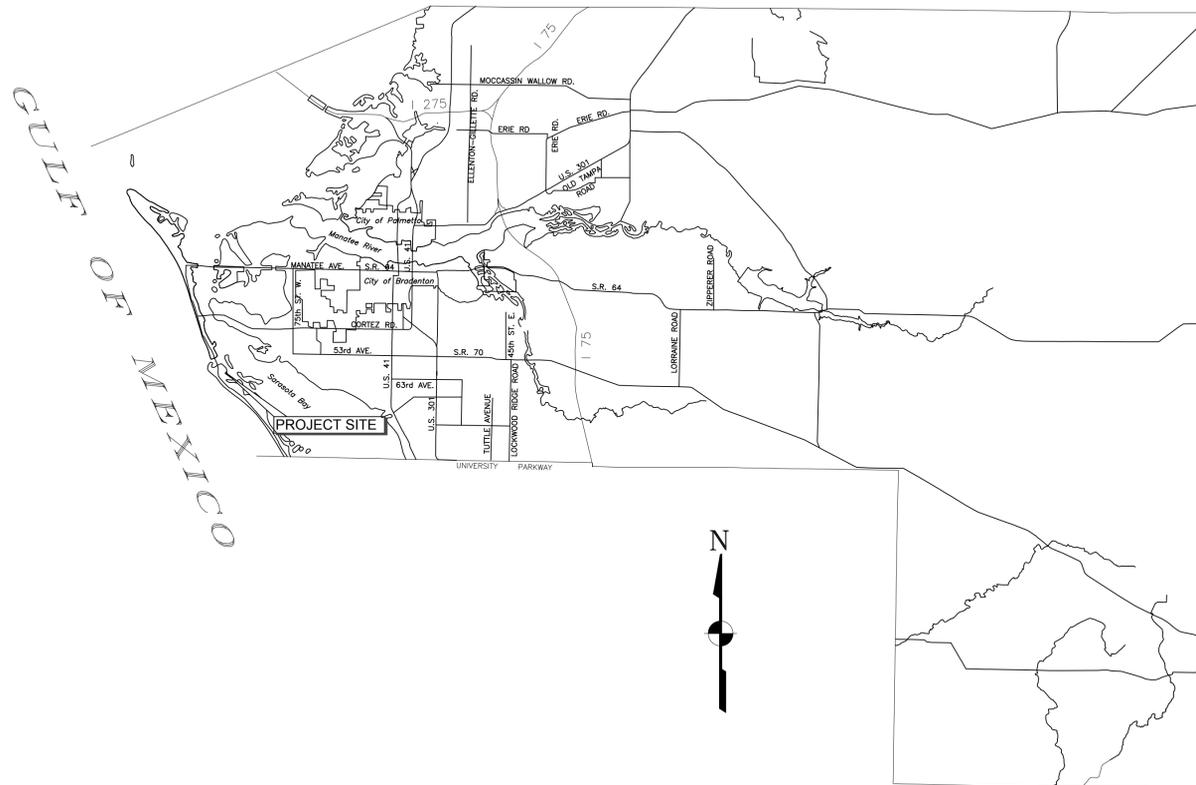


LOCATION MAP

DESCRIPTION:

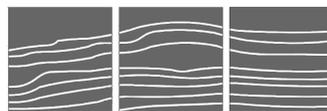
LOTS 1, 2, 3 AND THE NORTHEAST 1/2 OF LOT 4 BLOCK 1, LONGBEACH, REPLAT OF LONG BEACH AND HTE SUBMERGED LANDS ADJACENT THERETO, AS RECORDED IN PLAT BOOK 1, PAGE 306, OF THE PUBLIC RECORDS OF MANATEE COUNTY, FLORIDA.

NOTE:
EXISTING INFORMATION TAKEN FROM A SURVEY
PREPARED BY STRAYER SURVEYING & MAPPING, INC.



VICINITY MAP

JULY 2015



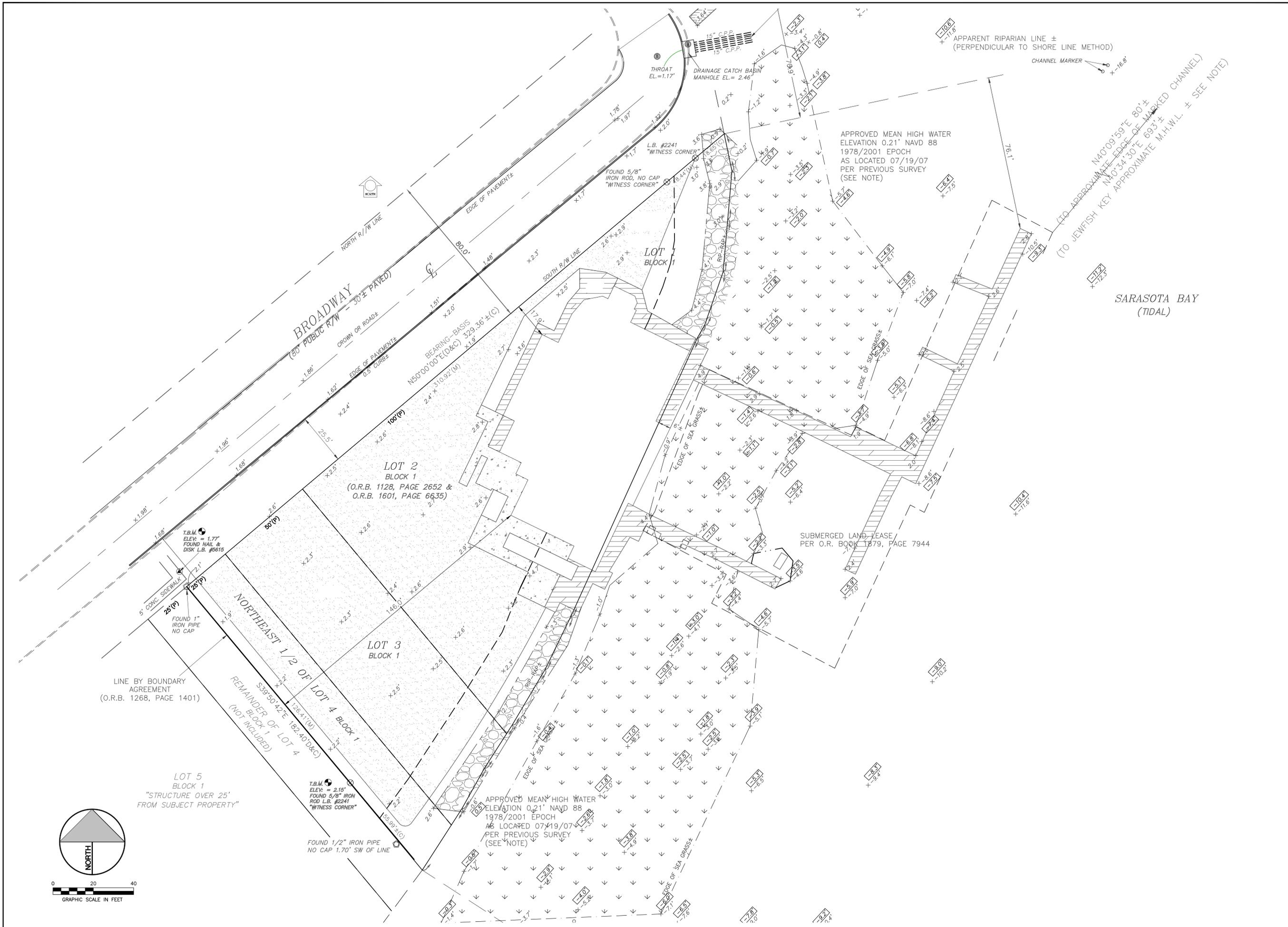
LTA Engineers, LLC

2004 53rd Avenue East, Bradenton, FL 34203
Phone 941.756.9100
Fax 941.756.9119

SHEET INDEX

SHT. NO.	CONTENTS
0	COVER SHEET
1	EXISTING CONDITIONS PLAN W/ AERIAL OVERLAY
2	SITE PLAN
3	LANDSCAPE, BUFFER & SCREENING PLAN
4	STORMWATER, SOIL EROSION & SEDIMENTATION PLAN
ESL-1	LIGHTING PLAN
ESL-2	PROPOSED FIXTURE SECTIONS





CAD File: Shore Site Plan 2016.dwg Date: 02/20/15 SCALE: SEE SCALE Design By: LTB Drawn By: LTB Checked By: LTB Project No.: 443.01.01.15	
1922 53rd Avenue East Bradenton, FL 34203 Phone 941.756.9100 Fax 941.756.9119 LTA ENGINEERS, LLC Civil Engineers & Land Planners	
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BY	
DATE	
REVISION	
NO.	
SHORE AT LONGBOAT KEY Town of Longboat Key, FL Sec. 15, Twp. 35 S., Rge 16 E. Manatee County, Florida EXISTING CONDITIONS PLAN	
1 OF: 4	

REVISIONS

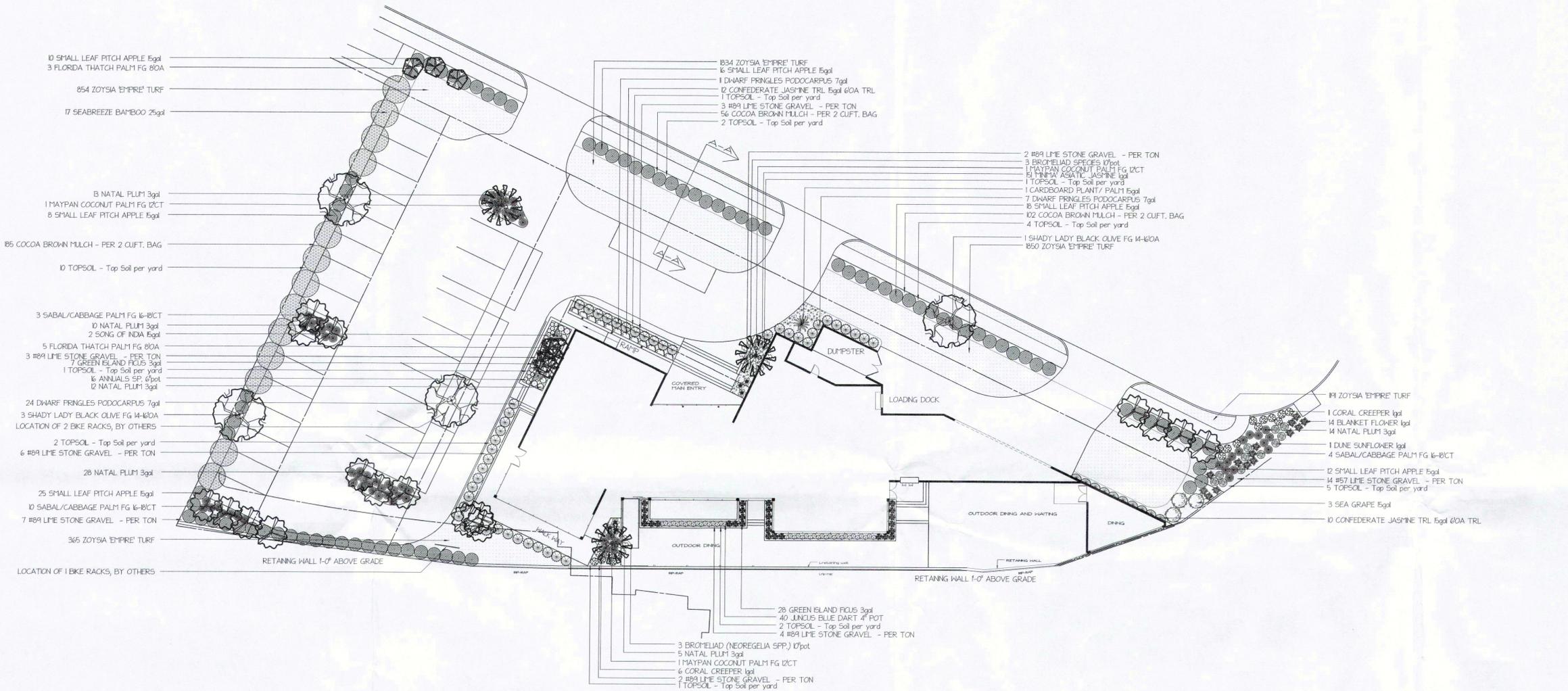
NO.	DATE	DESCRIPTION
BASE	07/24/2016	BASE PLAN
REV1	07/24/2016	LANDSCAPE PLAN
REV2	08/01/2016	LANDSCAPE PLAN

CLIENT
L-3
 SHORE AT LONGBOAT KEY
 800 BROADWAY STREET
 LONGBOAT KEY, FL 34228

PROJECT NO. 14-00724016
 SCALE: 1" = 20'-0"
 DATE: 07/24/2016
 DESIGNED BY: GSB
 DRAWN BY: RGP
 ESTIMATE #

Grant's Gardens, Inc.
 1465 Northgate Blvd.
 Sarasota, FL 34234
 T: 941-343-9086
 F: 941-376-9710
 E: INFO@GRANTS-GARDENS.COM

This plan is the property of Grant's Gardens, Inc. It is to be used for the project only. No part of this plan may be reproduced or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Grant's Gardens, Inc.

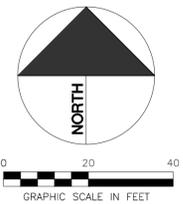


LANDSCAPE MATERIAL:

Qty	Botanical Name	Common Name	Size/Condition
Other Plants			
14	Trachelospermum asiaticum 'Minimal'	'MINIMA' ASIATIC JASMINE	1gal
16	Annuals sp.	ANNUALS SP.	6/pot
14	Gallardia pulchella	BLANKET FLOWER	1gal
3	Neoregelia spp.	BROMELIAD (NEOREGELIA SPP.)	10/pot
3	Bromeliad species	BROMELIAD SPECIES	10/pot
1	Zamia maritima	CARDBOARD PLANT/ PALM	Esgal
22	Trachelospermum jasminoides	CONFEDERATE JASMINE TRL	Esgal @0A TRL
17	Borleria repens	CORAL CREEPER	1gal
1	Helianthus debilis	DUNE SUNFLOWER	1gal
42	Podocarpus macrophyllus 'Dwarf Pringles'	DWARF PRINGLES PODOCARPUS	7gal
8	Thrinax radiata	FLORIDA THATCH PALM	FG 80A
35	Ficus microcarpa 'Green Island'	GREEN ISLAND FICUS	3gal
40	Juncus inflexus - Blue Dart	JUNCUS BLUE DART	4" POT
3	Coccotheca 'Maypan'	MAYPAN COCONUT PALM	FG 12CT
82	Carissa macrocarpa	NATAL PLUM	3gal
17	Sabal palmetto	SABAL/CABBAGE PALM	FG 16-18CT
3	Coccoloba wifera	SEA GRAPE	Esgal
17	Bambusa multiplex	SEABREEZE BAMBOO	25gal
1	Bucida buxiana 'Shady Lady'	SHADY LADY BLACK OLIVE	FG 14-160A
81	Clusia guttifera	SMALL LEAF PITCH APPLE	Esgal
2	Dracaena reflexa 'Song of India'	SONG OF INDIA	Esgal

QUANTITY	DESCRIPTION	SIZE/ CONDITION
41 TONS	#89 LIME STONE GRAVEL	PER TON
350 UNITS	COCOA BROWN MULCH	2 CUBIC FEET BAG
30 YARDS	TOPSOIL	PER YARD
6,400 SQ. FT.	ZOYSIA 'EMPIRE' TURF	PER SQ. FT.

SECTION A-A - NTS

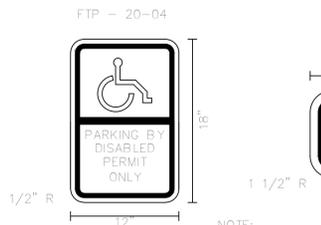
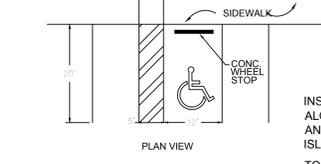


CONSTRUCT TREATMENT SWALES ADJACENT TO R/W TO CAPTURE RUNOFF FROM SITE SURFACE AREAS (PER DETAIL THIS SHEET)

MATCH EX. GRADE AT PROPERTY LINE (TYP)

LINE BY BOUNDARY AGREEMENT (O.R.B. 1268, PAGE 1401)

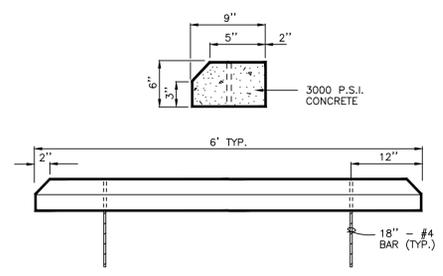
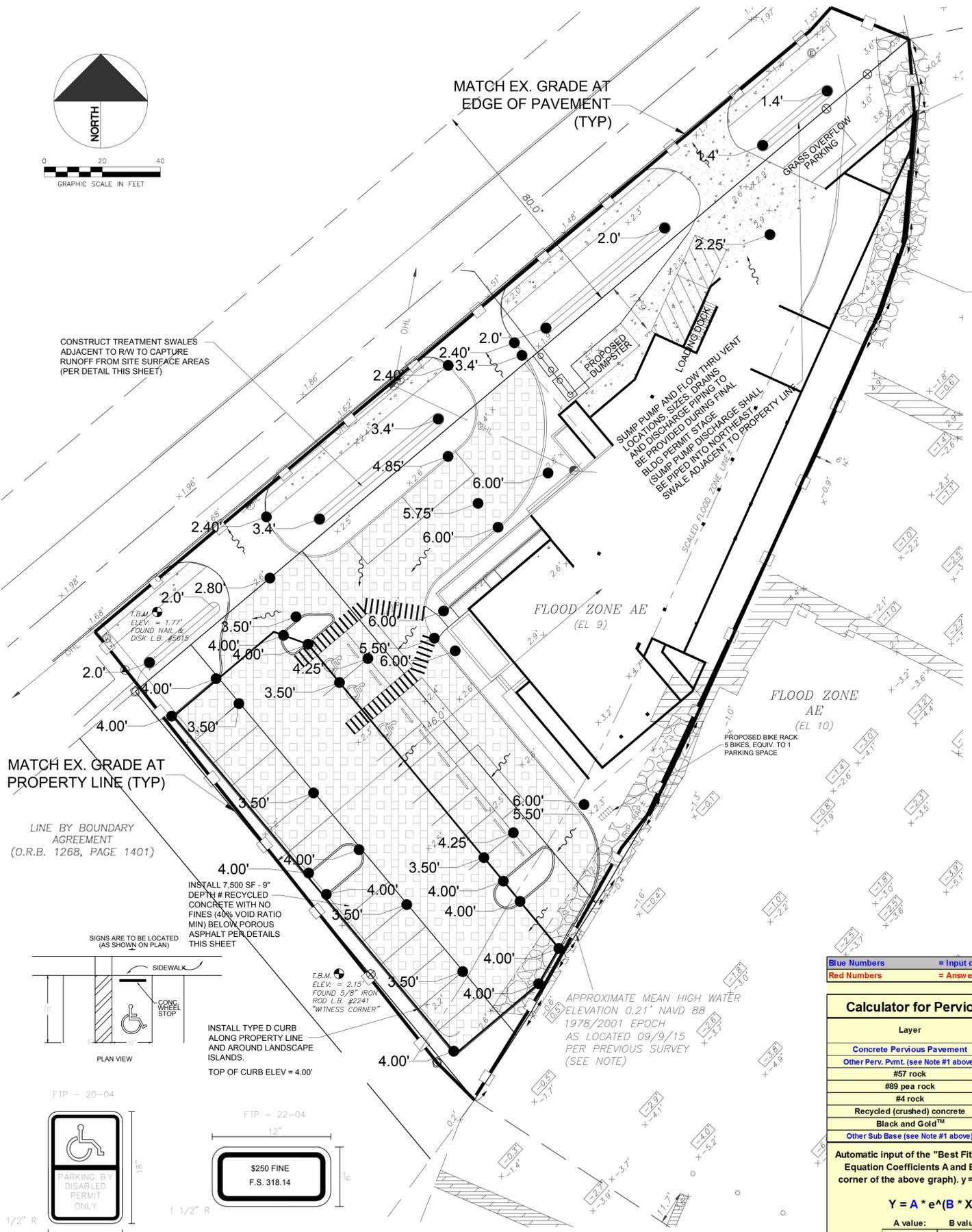
SIGNS ARE TO BE LOCATED (AS SHOWN ON PLAN)



NOTE: SIGNAGE AND MARKINGS TO COMPLY WITH FDOT STANDARDS INDEX #17355

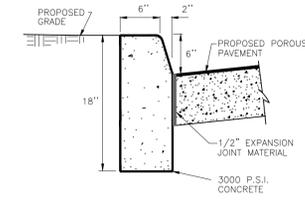
HANDICAP SIGN DETAIL N.T.S.

MATCH EX. GRADE AT EDGE OF PAVEMENT (TYP)



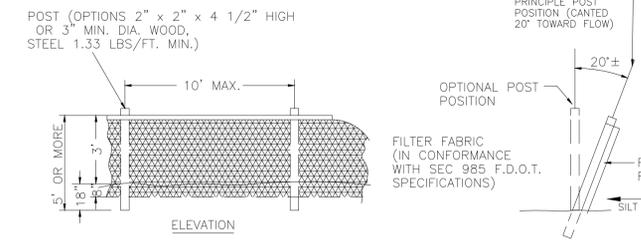
WHEEL STOP DETAIL N.T.S.

NOTE: WHEEL STOPS SHALL BE LOCATED 4' FROM END OF PARKING STALLS ADJACENT TO PARALLEL PARKING SPACES

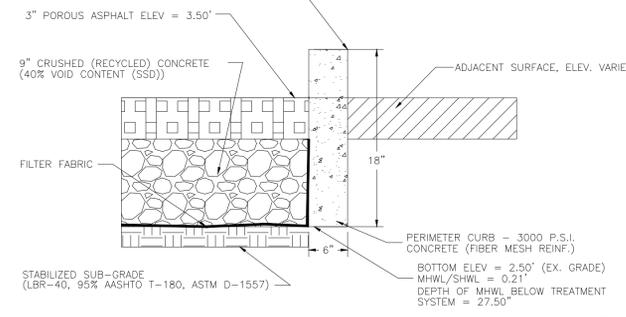


TYPE 'D' CURB DETAIL N.T.S.

SILT FENCE TO BE INSTALLED AROUND ENTIRE PERIMETER OF PROPERTY AND MAINTAINED ON A DAILY BASIS DURING THE COURSE OF CONSTRUCTION.



TYPICAL SILT FENCE N.T.S.



POROUS ASPHALT SYSTEM N.T.S.

WATER QUALITY CALCULATIONS:

REQUIRED VOLUME = 0.75' x SITE AREA
0.75' x 38,793 = 2,425 C.F.

Blue Numbers = Input data
Red Numbers = Answers

CLICK TO GO BACK TO DATA

Layer	Thickness (in)	SUSTAINABLE Void Space (%)	Storage (in)
Concrete Pervious Pavement	0	20	0
Other Perv. Pvmnt. (see Note #1 above)	3	16	0.48
#57 rock	9	40	3.6
#89 pea rock	0	25	0
#4 rock	0	30	0
Recycled (crushed) concrete	0	25	0
Black and Gold™	0	9	0
Other Sub Base (see Note #1 above)	0	20	0

Automatic input of the "Best Fit" Exponential Equation Coefficients A and B (lower left corner of the above graph). $y = C$ and $x = S'$

$Y = A * e^{(B * X)}$

A value: 95.442 B value: -0.1217

$S' = 4.08$
 $CN = 71$
 $C = 0.58$

VOL REQ'D = 2425 CF
SURFACE AREA REQ'D = 7132 SF OF INFILTRATION TRENCH @ 9 INCH DEPTH OF STONE RECHARGE BED
SURFACE AREA PROVIDED = 7500 SF OF INFILTRATION TRENCH @ 9 INCH DEPTH OF STONE RECHARGE BED
VOL PROVIDED = 2550 CF

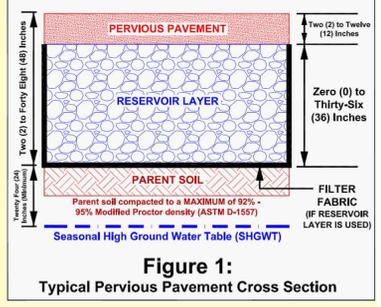
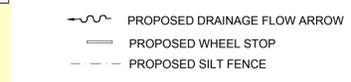


Figure 1: Typical Pervious Pavement Cross Section

TYPICAL SWALE SECTION N.T.S.

CONSTRUCTION NOTES:

- EXISTING DRIVEWAYS WITHIN LIMITS OF R/W TO BE RECONSTRUCTED WITH CONCRETE.
- EXISTING SHELL TO BE REMOVED AT ENTRANCES AND REPLACED WITH 6" FIBERMESH CONCRETE (3,000 PSI). EXISTING SHELL DRIVES AND PARKING AREAS RECONSTRUCTED OF CONCRETE OR SHALL BE SLOPED TO DRAIN TO PROPOSED SWALES.
- ALL PARKING AND DRIVEWAY SURFACES SHALL BE COMPACTED TO 98% DENSITY.
- CONCRETE APRONS AT ENTRANCES SHALL BE CONSTRUCTED IN ACCORDANCE WITH MANATEE COUNTY DETAIL 101.3



SURVEY NOTES:
1. EXISTING INFORMATION TAKEN FROM A SURVEY PREPARED BY STRAYER SURVEYING AND MAPPING, INC.
2. ALL EXISTING AND PROPOSED SPOT ELEVATIONS SHOWN HEREON ARE BASED DATUM NAVD88.

CADD File: Shore Site Plan 9-2015.dwg
Shore Site Plan 9-2015.dwg
Date: 02/20/15
SCALE: 1" = 20'
Drawn By: LTB
Checked By: LTB
Project No.: 443010115

1922 53rd Avenue East
Bradenton, FL 34203
Phone 941.756.9100
Fax 941.756.9119

LTA ENGINEERS, LLC
Civil Engineers & Land Planners

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NO.	REVISION	DATE	BY	REVISION PER STATE COMMENTS
1		9/15/15	LTB	

SHORE AT LONGBOAT KEY
Town of Longboat Key, FL
Sec. 15, Twp. 35 S., Rge 16 E. Manatee County, Florida

STORMWATER, SOIL EROSION & SEDIMENTATION PLAN

